

# Scatter Springf

[SITE 01] 1002 RO  
[SITE 02] 1006 RO  
[SITE 03] 1300 Innin  
[SITE 04] 1220 Hig  
[SITE 05] 306 Che  
[SITE 06] 563 E. NC  
[SITE 07] 328 W  
[SITE 08] 2122 M  
[SITE 09] 2130 Gre

## PROJECT TEAM

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ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

## SHEET INDEX

### TITLE SHEETS

G1.1 OVERALL PROJECT TITLE SHEET

1002 ROBINSON DR. [SITE 01]

01-G1.1 PROJECT INFORMATION

01-G1.2 SCHEDULES

01-G1.3 TYPICAL DETAILS

01-G1.4 TYPICAL DETAILS

01-G1.5 GENERAL PROJECT NOTES

01-C1.1 ARCHITECTURAL SITE PLAN / EXTERIOR

REFERENCE PHOTOS

01-D1.1 EXISTING / DEMOLITION FLOOR PLANS

01-A1.1 PROPOSED FLOOR PLANS

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7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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1002 ROBINSON DR. [SITE 01]

01-G1.1	PROJECT INFORMATION
01-G1.2	SCHEDULES
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01-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
01-D1.1	EXISTING / DEMOLITION FLOOR PLANS
01-A1.1	PROPOSED FLOOR PLANS
01-A1.2	REFLECTED CEILING PLANS
01-A3.1	INTERIOR ELEVATIONS
01-P1.1	PLUMBING PLAN
01-M1.1	MECHANICAL PLAN
01-E1.1	ELECTRICAL PLAN
01-E5.1	ELECTRICAL SCHEDULES & NOTES

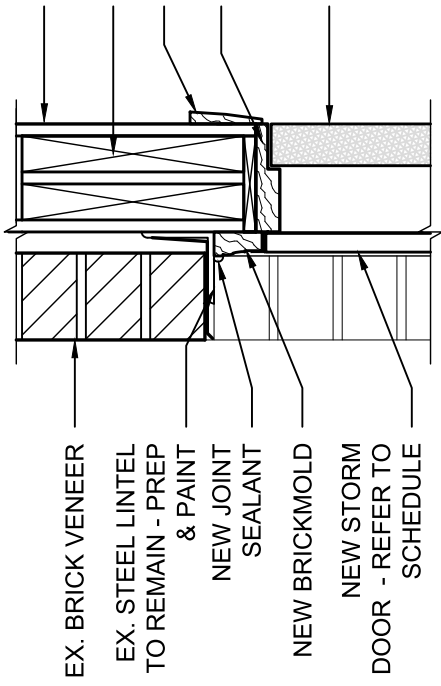
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	CLOSET	F-1	B-1	W-1	C-1	-
103	DINING	F-1	B-1	W-1	C-1	-
104	KITCHEN	F-1	B-1	W-1	C-1	-
105	LAUNDRY	F-1	B-1	W-1	C-1	-
106	MECHANICAL	F-1	B-1	W-1	C-1	-
107	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
200	HALL	F-1	B-1	W-1	C-1	-
201	BEDROOM 1	F-1	B-1	W-1	C-1	-
202	CLOSET	F-1	B-1	W-1	C-1	-
203	BEDROOM 2	F-1	B-1	W-1	C-1	-
204	CLOSET	F-1	B-1	W-1	C-1	-
205	BEDROOM 3	F-1	B-1	W-1	C-1	-
206	CLOSET	F-1	B-1	W-1	C-1	-
207	CLOSET	F-1	B-1	W-1	C-1	-
208	LINEN	F-1	B-1	W-1	C-1	-
209	BATH	F-1	B-1	W-1	C-1	-
210	LINEN	F-1	B-1	W-1	C-1	-

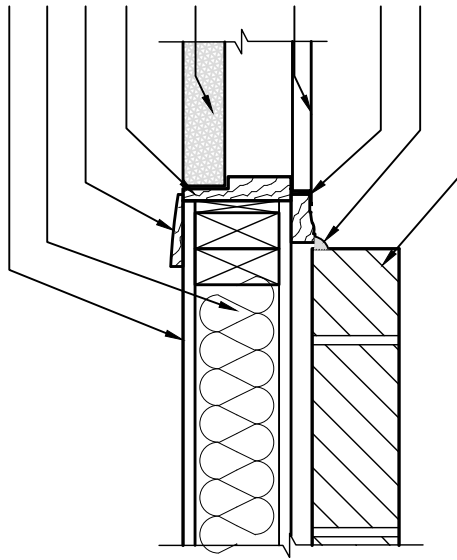
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

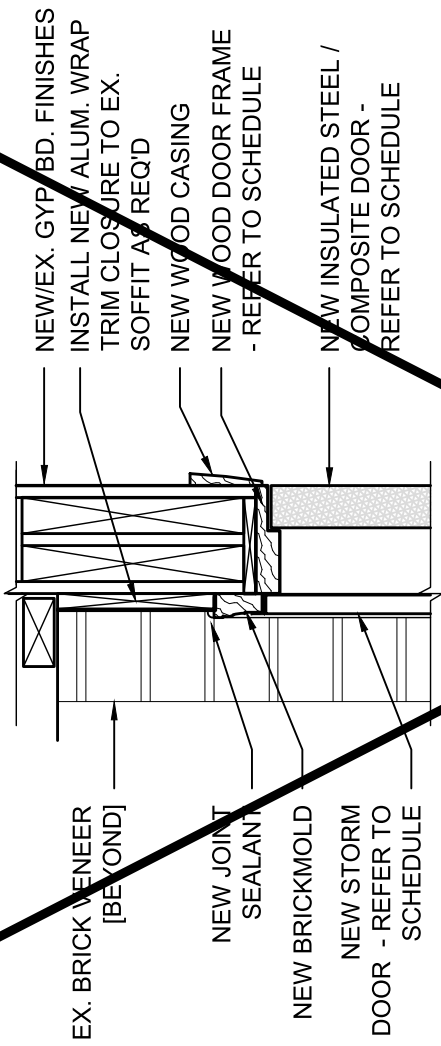
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



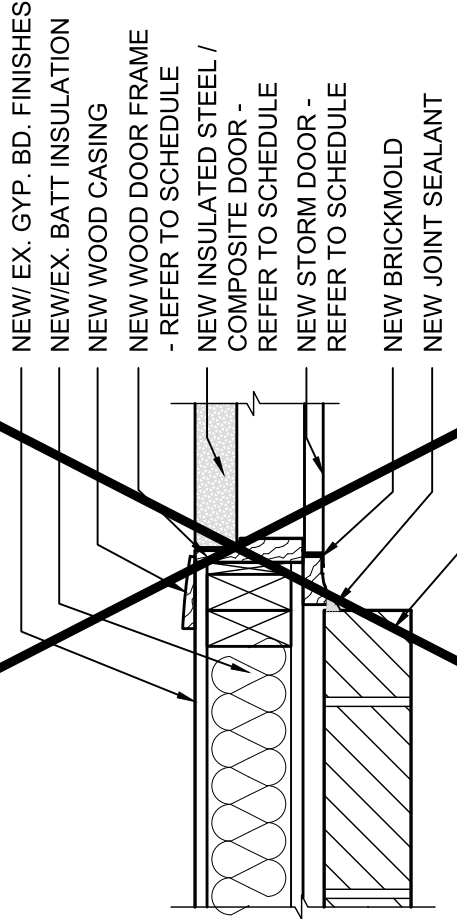
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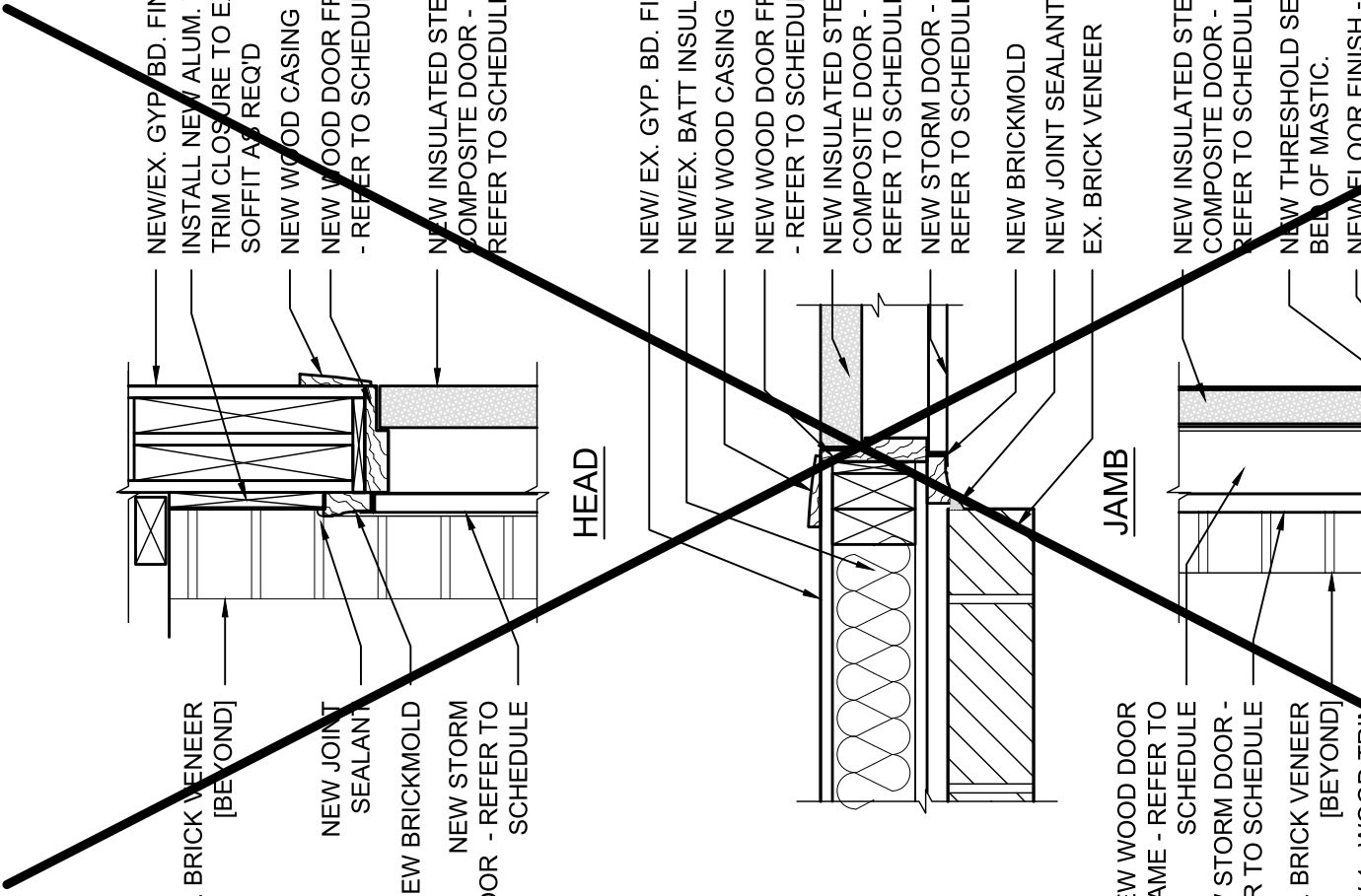
JAMB



HEAD



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT IMMEDIATELY, BEFORE THE CONTRACTOR OR JOB CONDITIONS (INCLUDING ALL DIMENSIONS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR DELIVERING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.5.1. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE CONTRACTOR OR JOB CONDITIONS (INCLUDING ALL DIMENSIONS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. PROCEEDING WITH WORK.
  - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE CONTRACTOR OR JOB CONDITIONS (INCLUDING ALL DIMENSIONS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. PROCEEDING WITH WORK.
  - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF WEAR, DAMAGE, OR ANY OTHER DEFECTS, OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES, SHALL BE REPAIR OR REPLACED IMMEDIATELY.



REMOVE EX., INSTALL  
NEW VINYL WINDOWS

REMOVE EX., INST.  
NEW EXTERIOR LIGHT  
FIXTURE

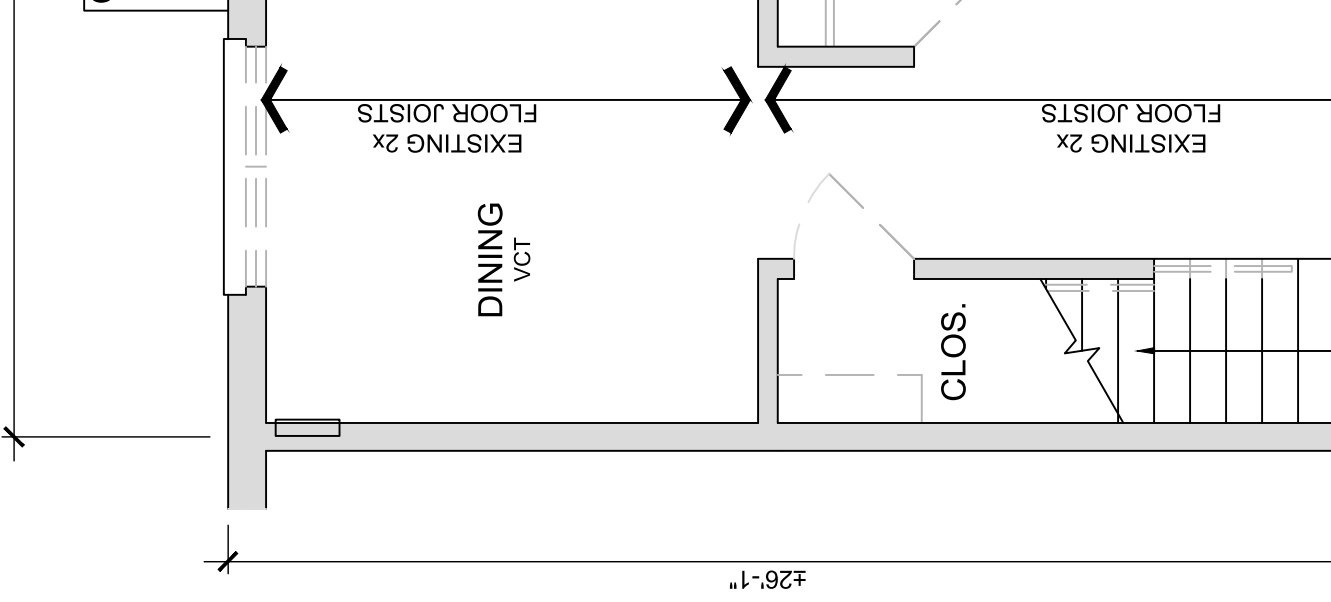
REMOVE EX., INSTALL  
NEW EXTERIOR DOOR  
FRAMES, HARDWARE &  
STORM DOORS.

NORTH ELEVATION



REMOVE EX., INSTALL  
NEW VINYL WINDOWS

EX. BRICK VENEER TO  
REMAIN - CLEAN /  
PRESSURE WASH



B

W-1

DINING  
103

W-2

1 (A3.1)

102

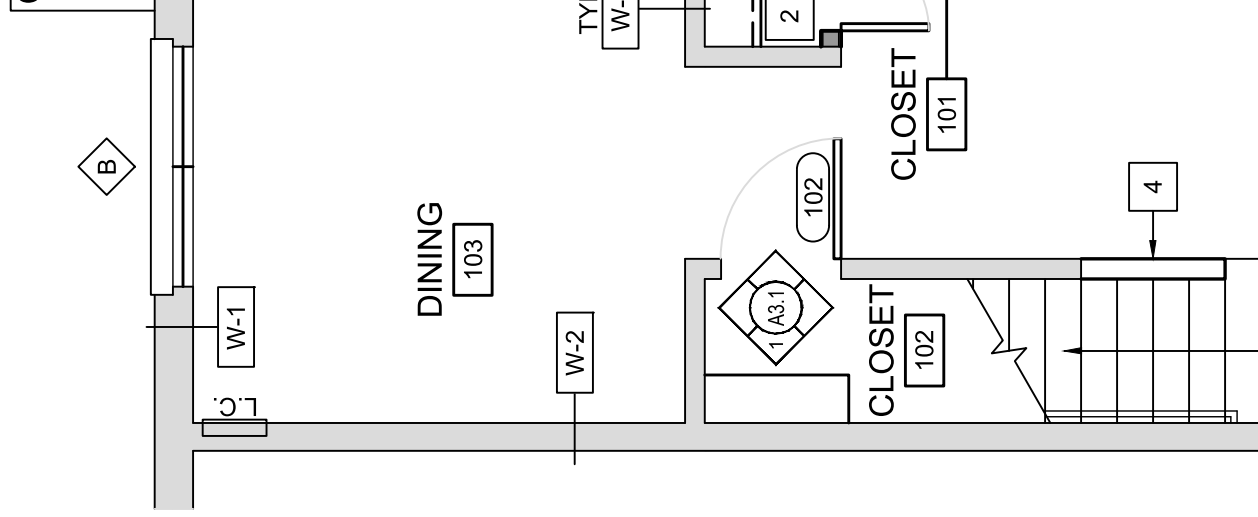
CLOSET  
102

CLOSET  
101

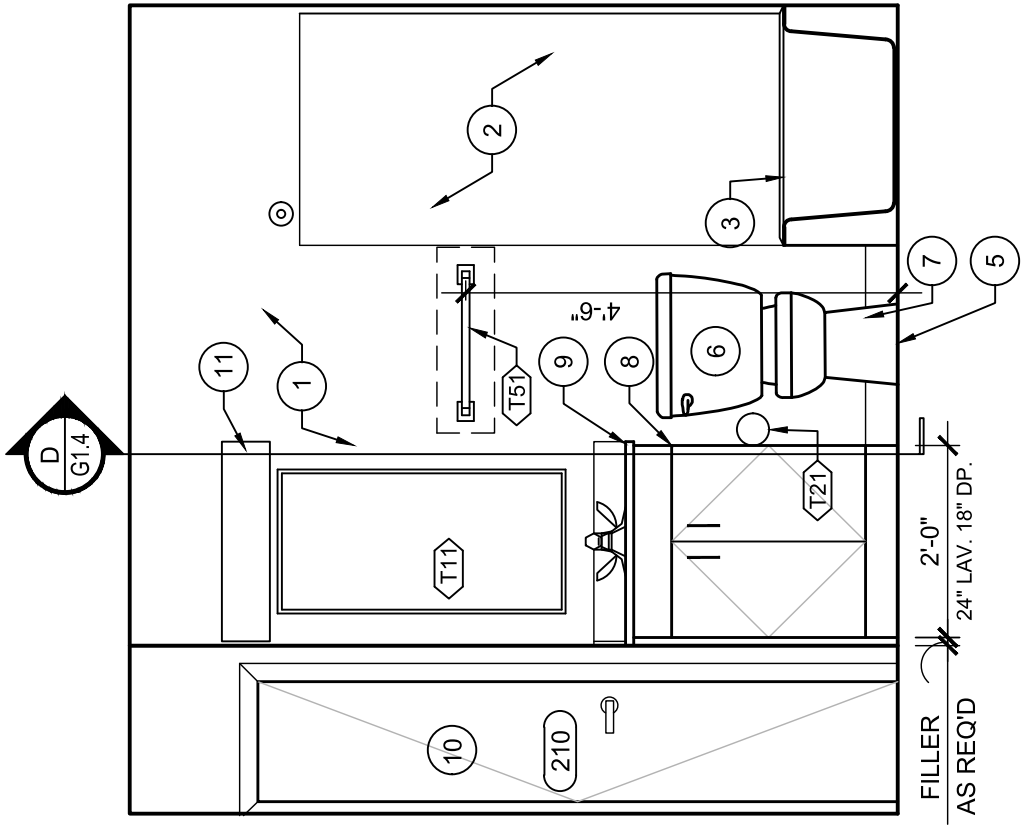
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TY  
W-

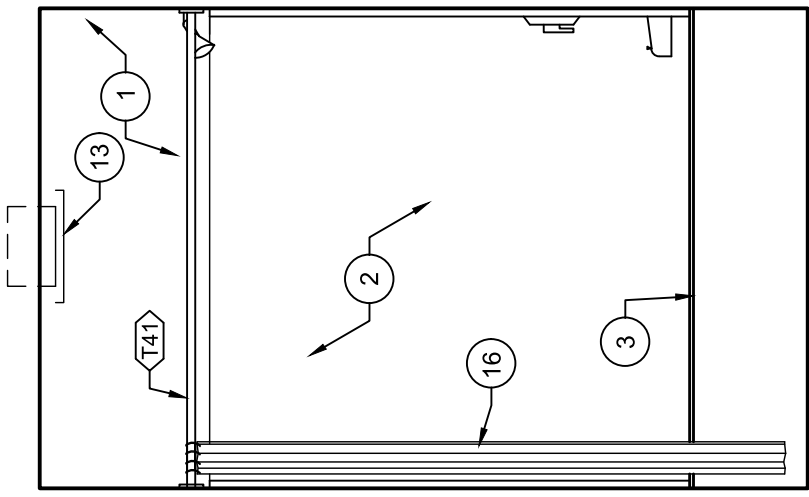
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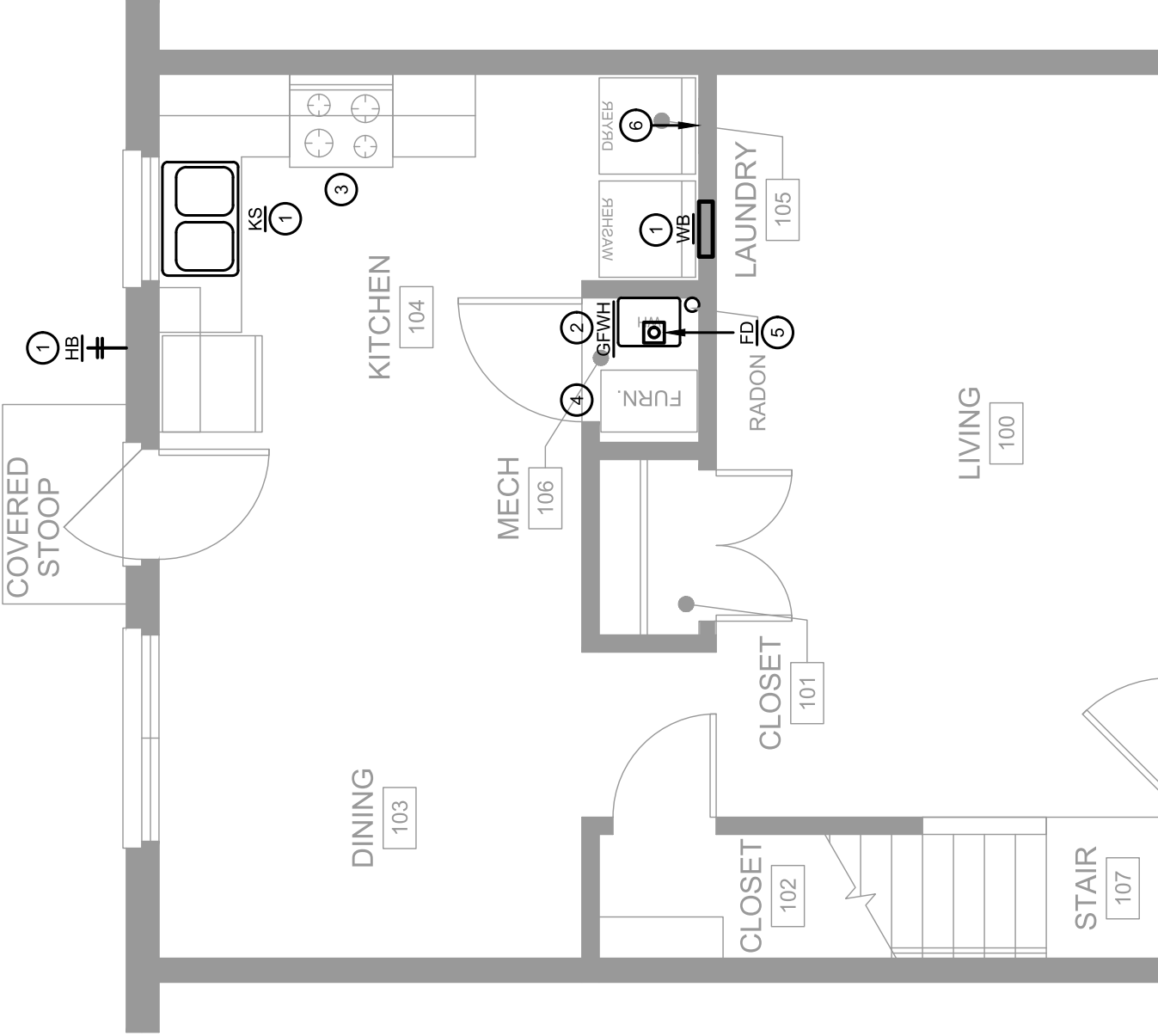
A



B

# INTERIOR ELEVATIONS AT BATH 209

SCALE: 1/2" = 1'-0"



COVERED STOOP

1 WB

1 KS

3

DINING  
103

KITCHEN  
104

MECH  
106

2

4

GFWH

FURN.

6

1 WB

DRYER

WASHER

CLOSET  
102

CLOSET  
101

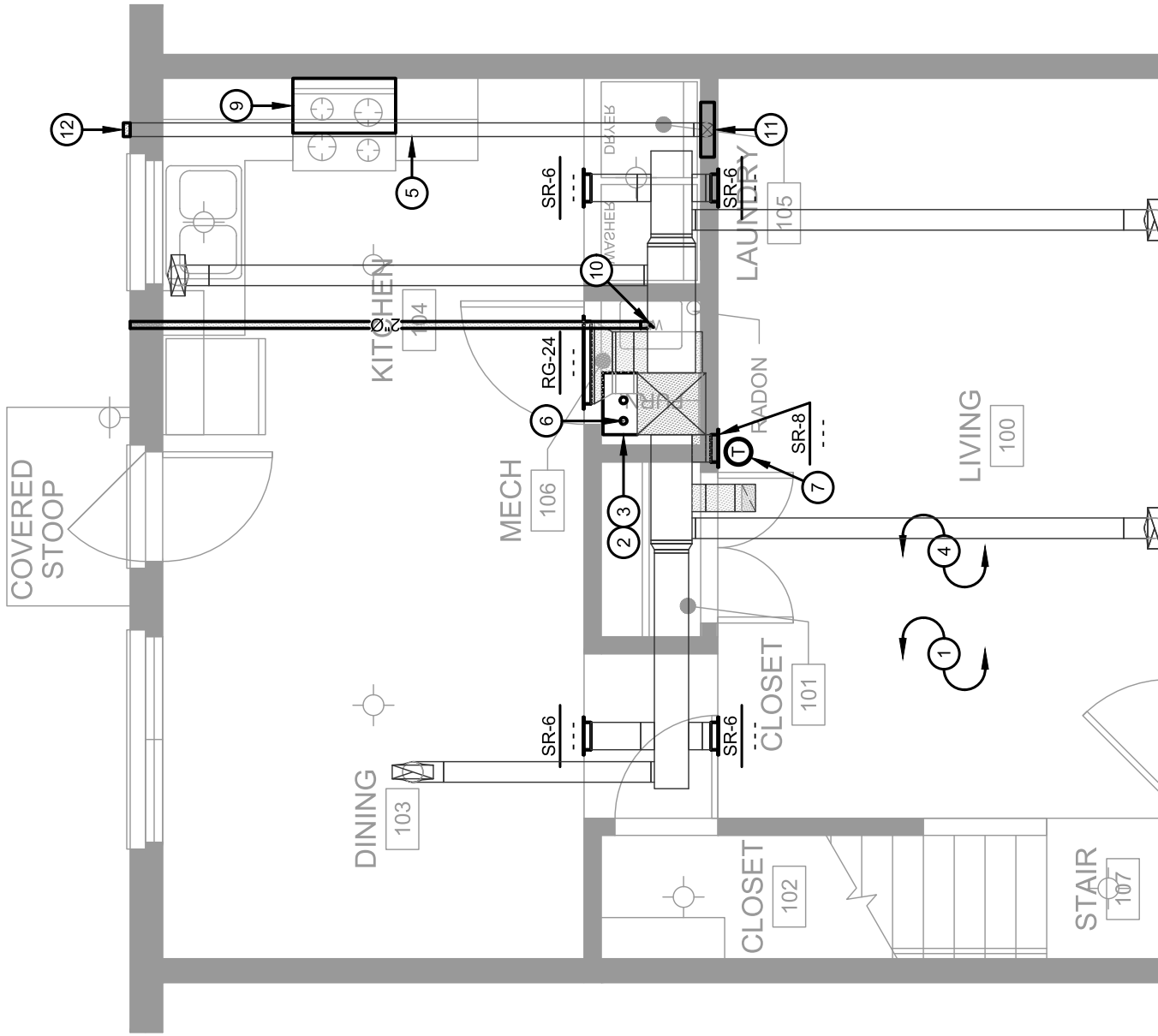
RADON RD

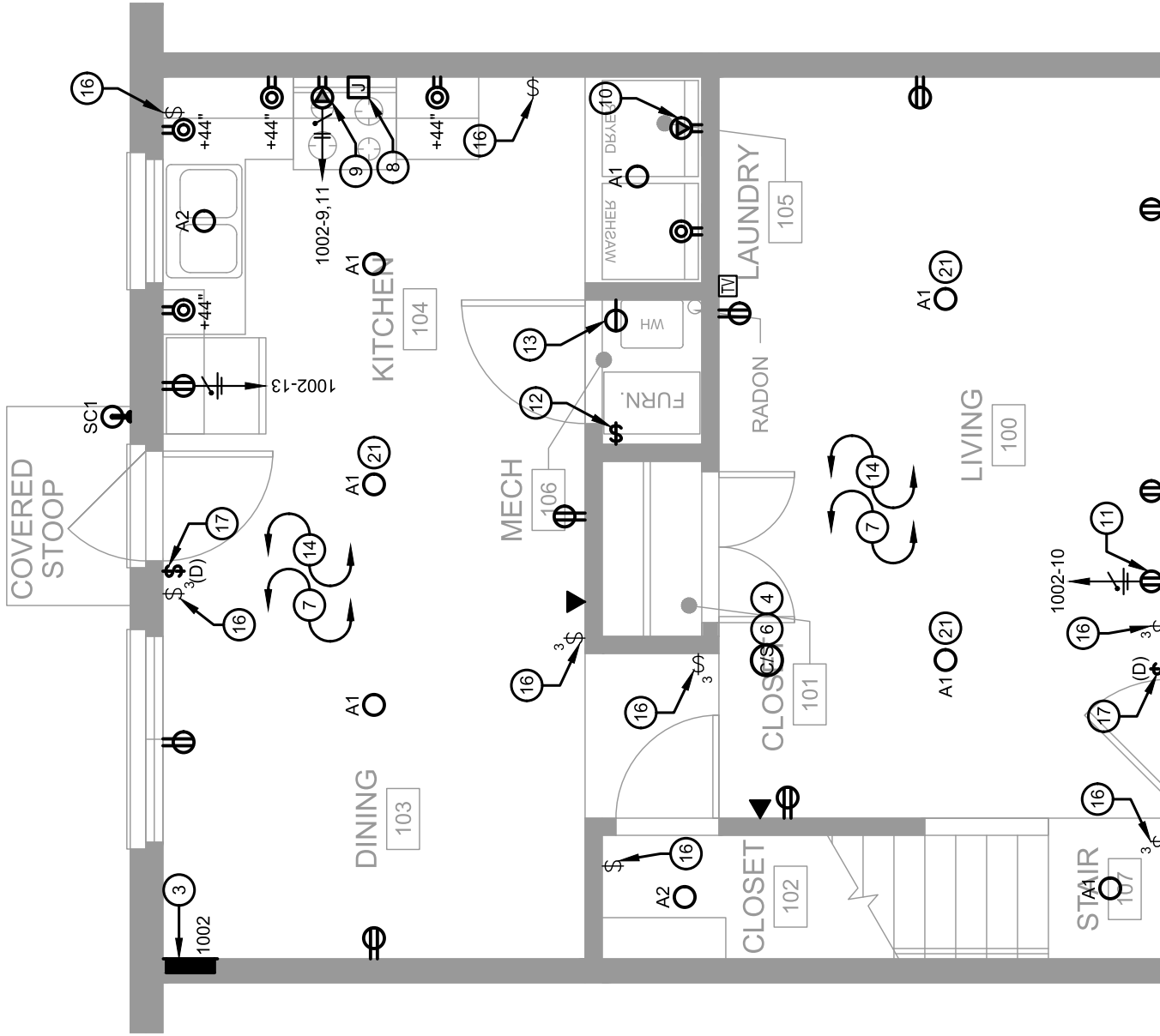
5

LAUNDRY  
105

LIVING  
100

STAIR  
107





Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	20	1
3	15	1
5	20	1
7	20	1
9	40	2
11		
13	20	1
15	20	1
17	20	1
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>

# Scatter Springf

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02-G1.2	SCHEDULES
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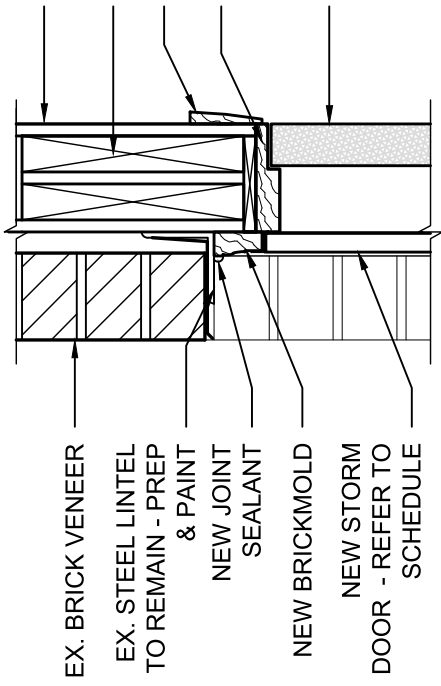
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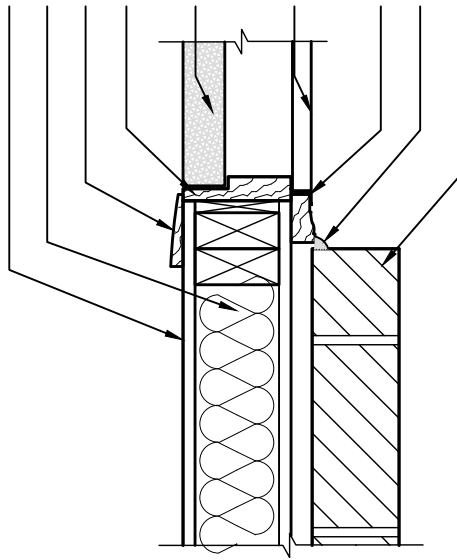
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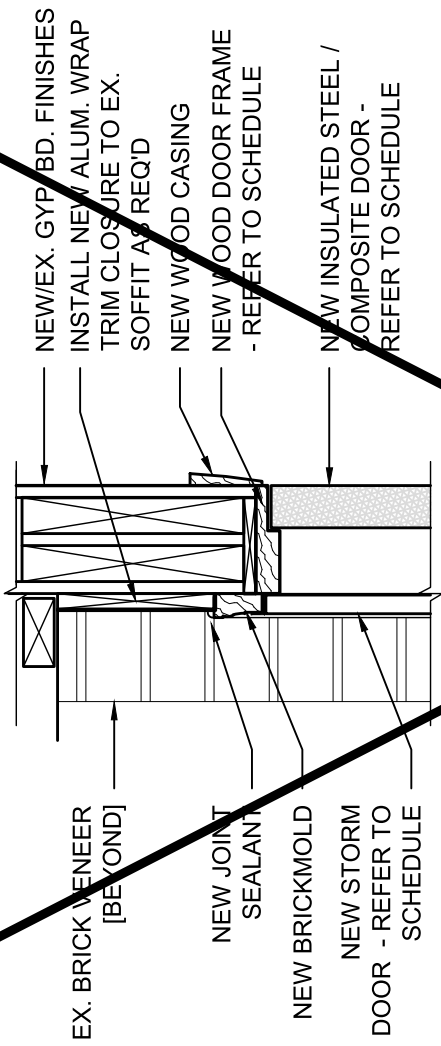
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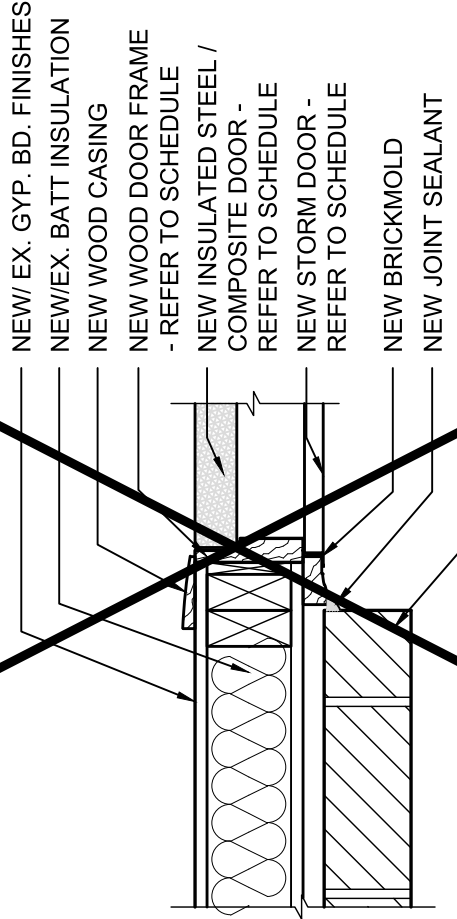
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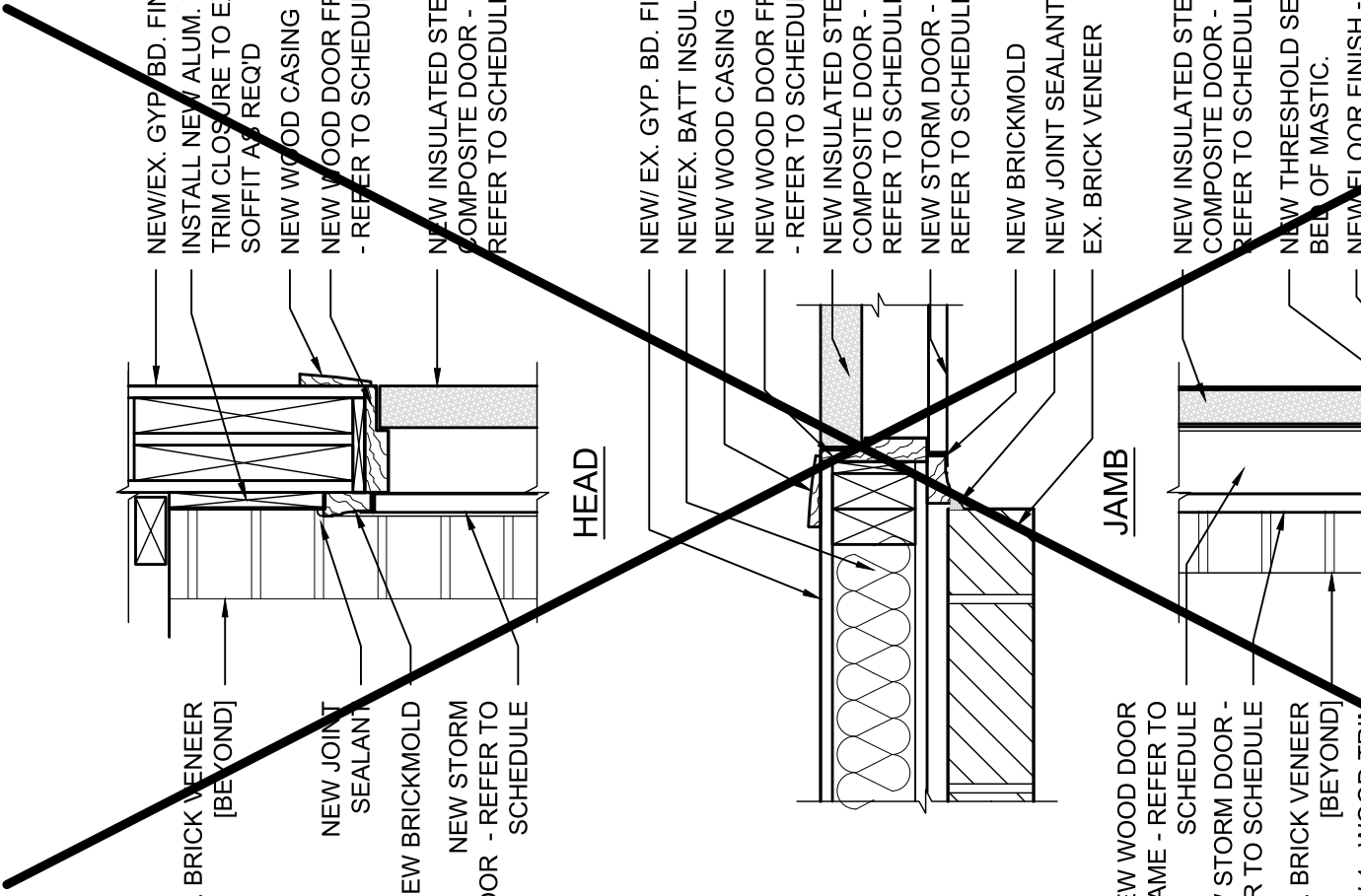
JAMB



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PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

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REMOVE EX., INSTALL  
NEW VINYL WINDOWS

REMOVE EX., INST.  
NEW EXTERIOR LIGHT  
FIXTURE

REMOVE EX. OVERGROWTH  
FROM AROUND BUILDING  
RESTORE IMPACTED  
AREAS W/ TOPSOIL & S

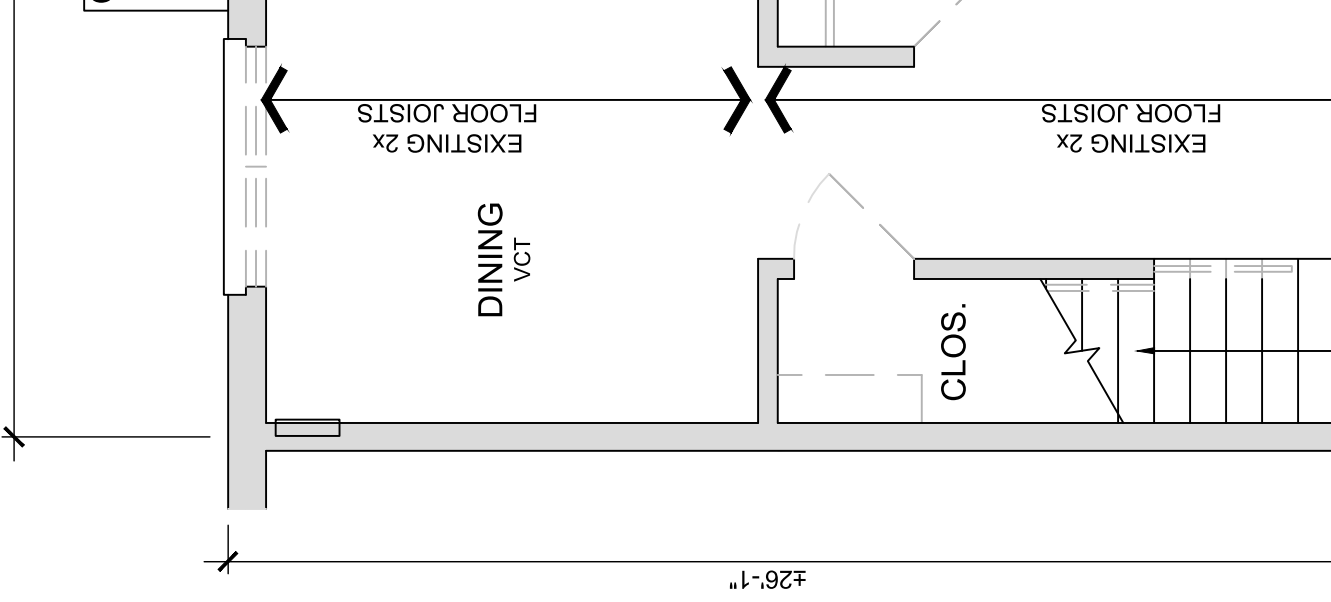
REMOVE EX., INSTALL  
NEW EXTERIOR DOOR  
FRAMES, HARDWARE &  
STORM DOORS.

NORTH ELEVATION



REMOVE EX., INSTALL  
NEW VINYL WINDOWS

EX. BRICK VENEER TO  
REMAIN - CLEAN /  
PRESSURE WASH



B

W-1

DINING  
103

W-2

1 (A3.1)

102

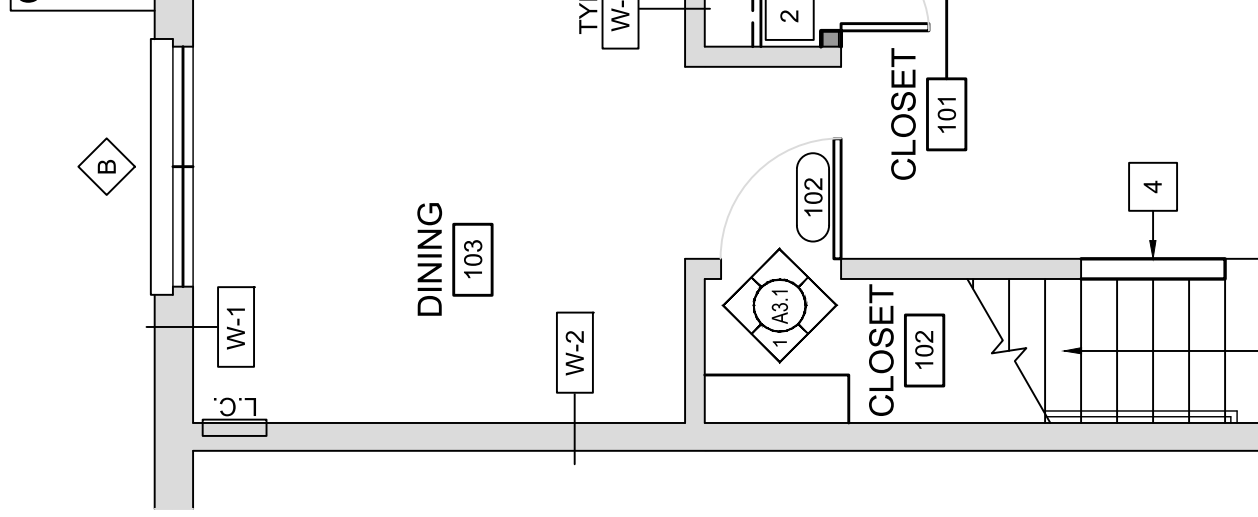
CLOSET  
102

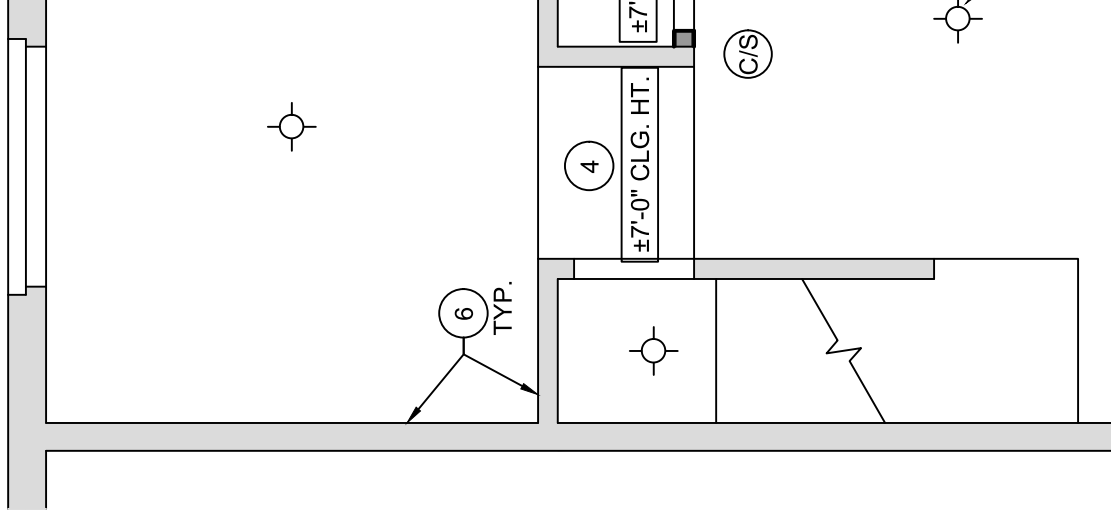
CLOSET  
101

4

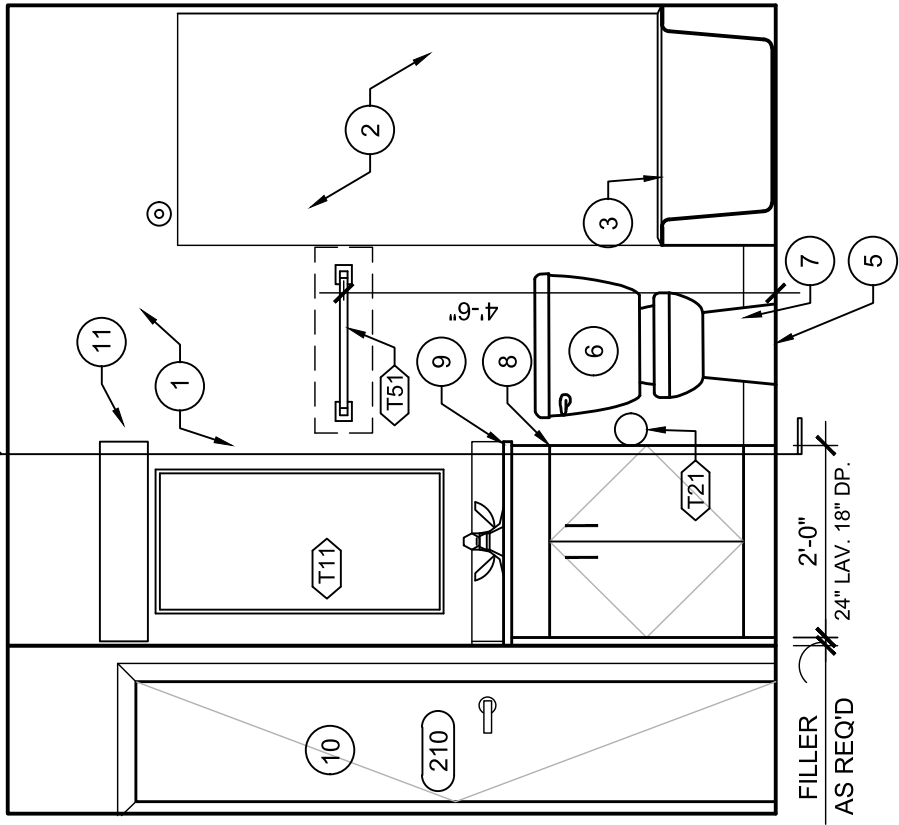
TY  
W-

2

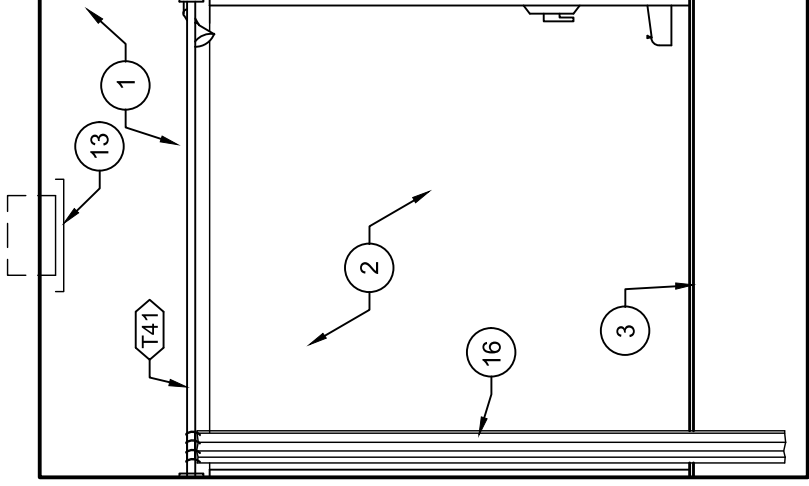




D  
G14



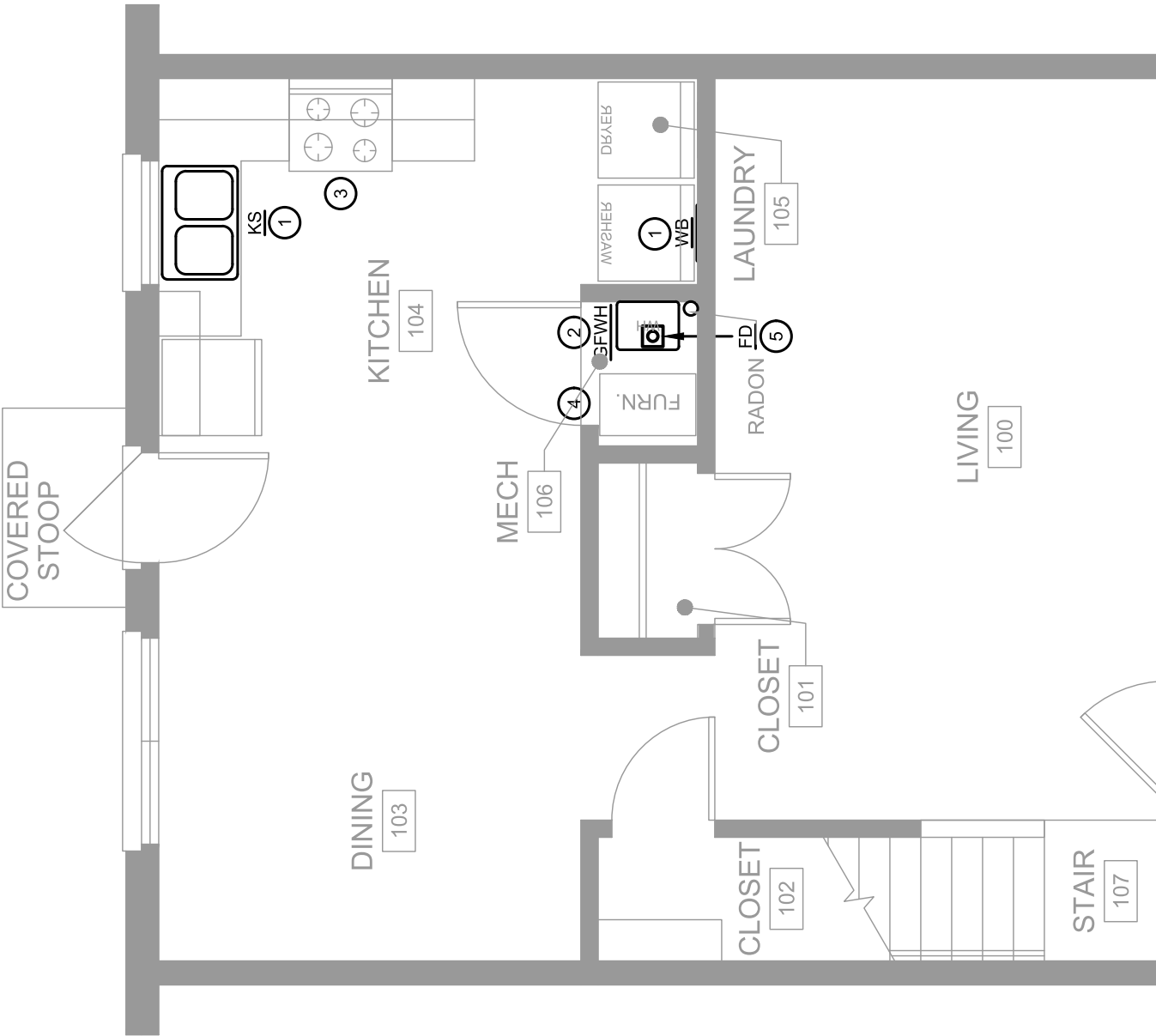
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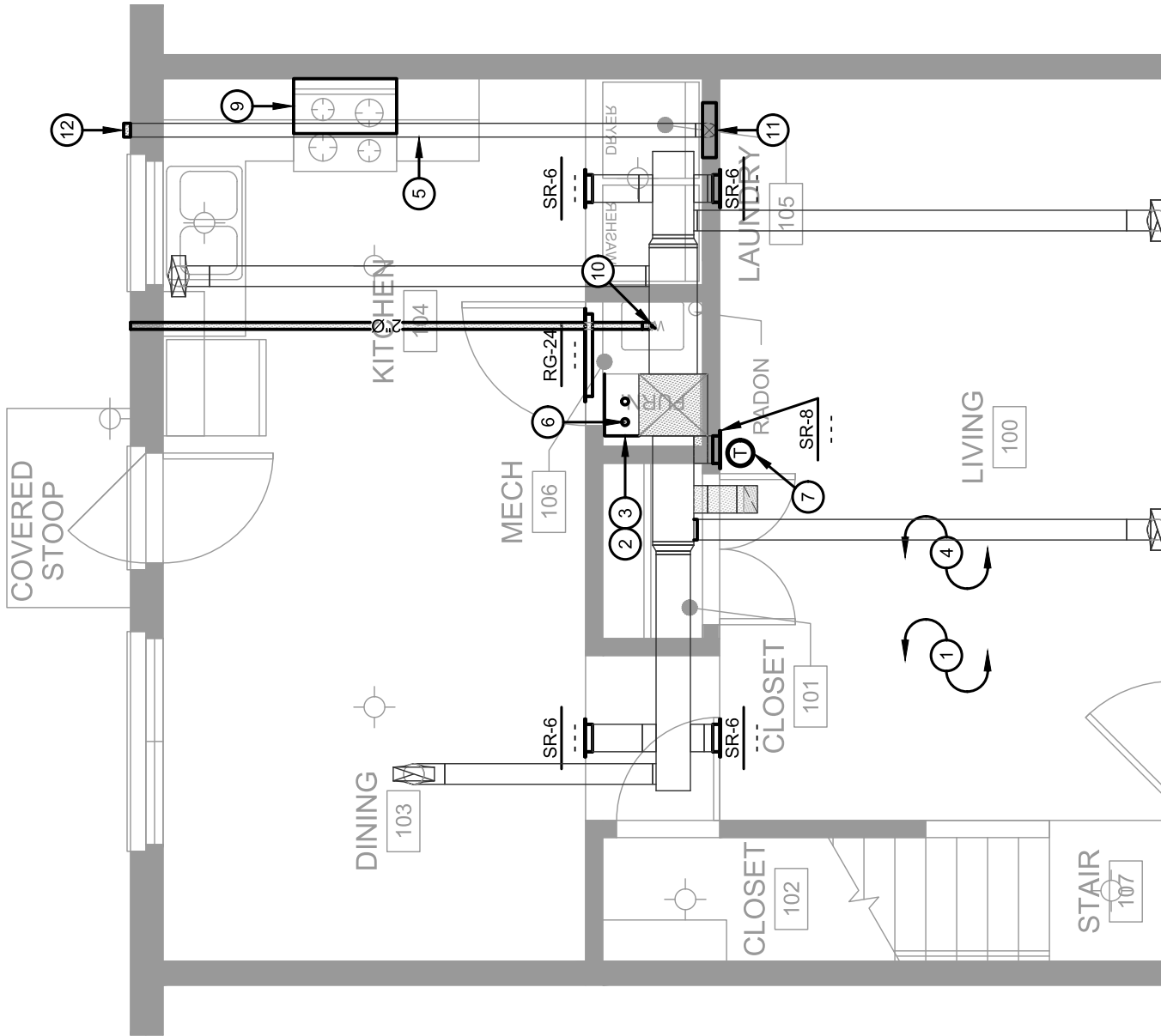


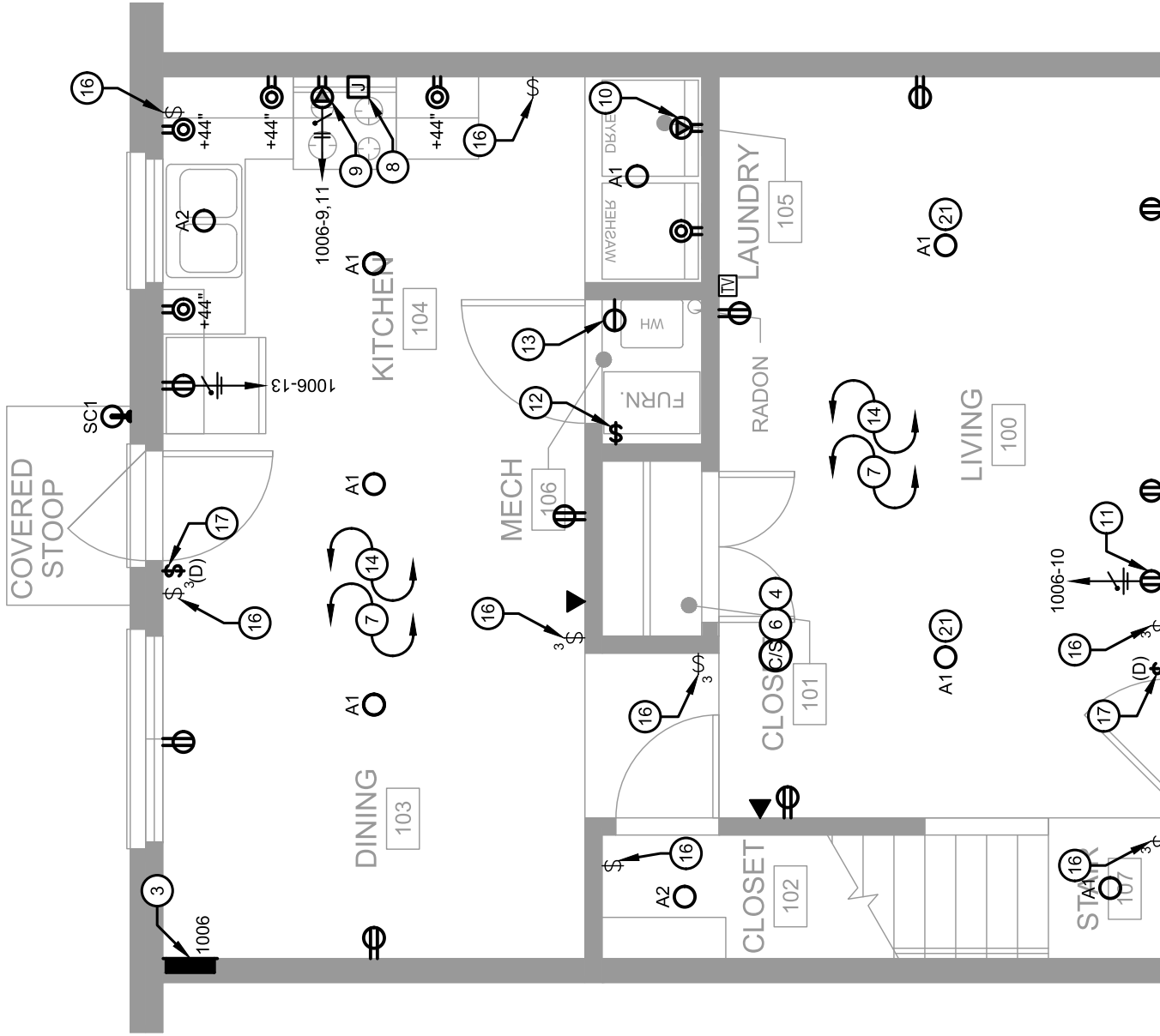
B

# INTERIOR ELEVATIONS AT BATH 209

SCALE: 1/2" = 1'-0"







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	20	1
3	15	1
5	20	1
7	20	1
9	40	2
11		
13	20	1
15	20	1
17	20	1
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>

# Scatter Springf

## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206

### ENVIRONMENTAL CONSULTANT:



M.A.C. PARAN CONSULTING  
SERVICES, INC.

## SHEET INDEX

1300 INNISFALLEN AVE. [SITE 03]

03-G1.1	PROJECT INFORMATION
03-G1.2	SCHEDULES
03-G1.3	TYPICAL DETAILS
03-G1.4	TYPICAL DETAILS
03-G1.5	GENERAL PROJECT NOTES
03-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
03-A1.1	CRAWL SPACE PLAN & EXISTING / DEMO
03-A1.2	PROPOSED FLOOR PLAN & REFLECTED C
03-A3.1	INTERIOR ELEVATIONS
03-P1.1	PLUMBING PLAN
03-M1.1	MECHANICAL PLAN
03-E1.1	ELECTRICAL PLAN
03-E5.1	ELECTRICAL SCHEDULES & NOTES

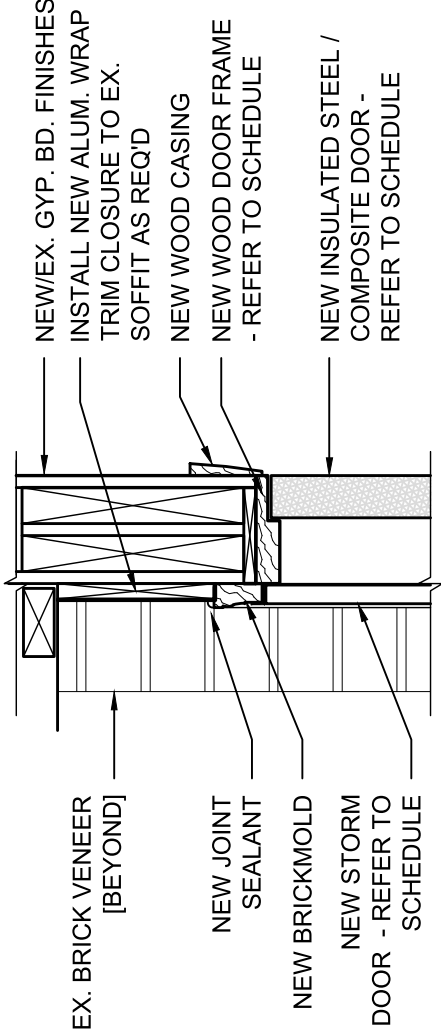
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	KITCHEN	F-1	B-1	W-1	C-1	-
103	MECHANICAL	F-1	B-1	W-1	C-1	-
104	BATH	F-1	B-1	W-1	C-1	-
105	HALL	F-1	B-1	W-1	C-1	-
106	BEDROOM 1	F-1	B-1	W-1	C-1	-
107	CLOSET	F-1	B-1	W-1	C-1	-
108	BEDROOM 2	F-1	B-1	W-1	C-1	-
109	CLOSET	F-1	B-1	W-1	C-1	-
110	LINEN	F-1	B-1	W-1	C-1	-
111	BEDROOM 3	F-1	B-1	W-1	C-1	-
112	CLOSET	F-1	B-1	W-1	C-1	-
113	POWDER	F-1	B-1	W-1	C-1	-
114	STORAGE	EX.	B-1	W-1	C-1	-

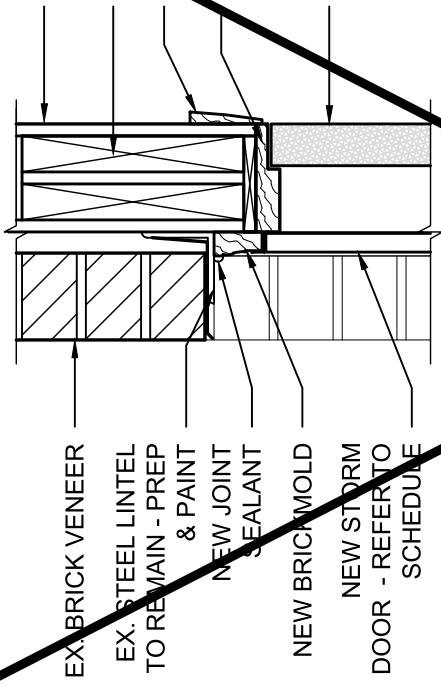
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

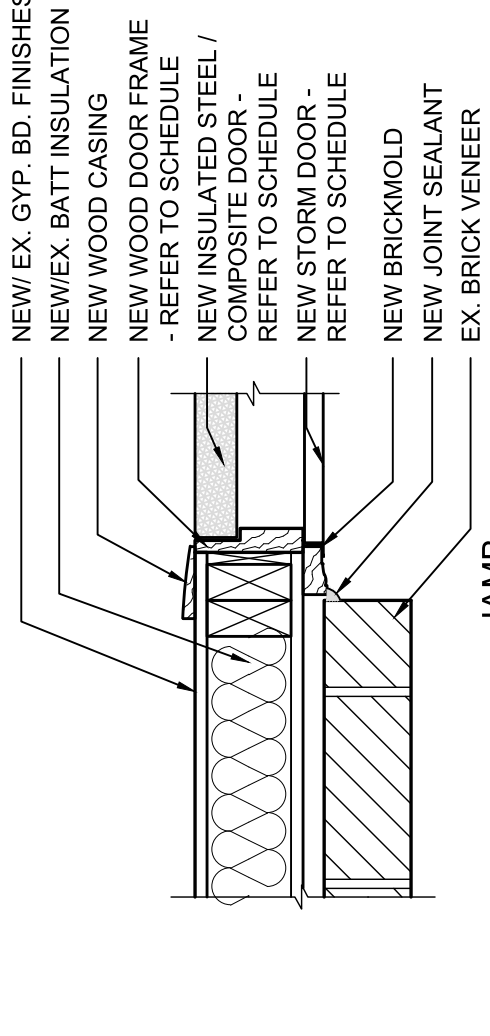
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJACENT  
DOOR JAMB DIMENSION TO MATCH, TYP.



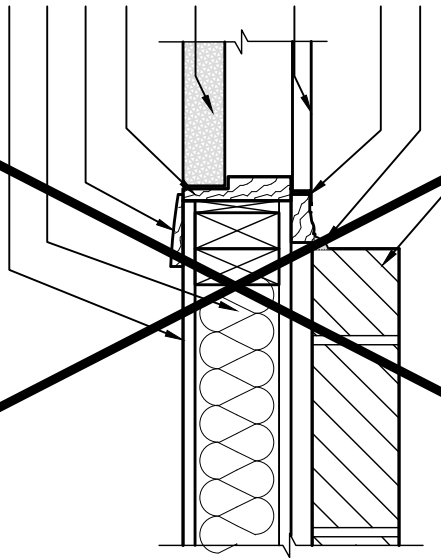
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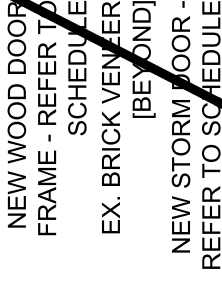
HEAD



JAMB



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY A LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THROUGH AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND PIPETUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB-MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT OR JOB CONDITIONS (INCLUDING PERMITS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL CONSTRUCTION, MATERIALS, AND METHODS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT, IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL NON APPROVALS DUE TO SUCH CHANGES. CONTRACTOR'S RESPONSIBILITY FOR INVESTIGATIVE WORK BE REQUIRED TO VERIFY ALL CONDITIONS, THE CONTRACT DOCUMENTS, IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL
    - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL

REMOVE EX., INSTALL  
NEW ALUM. WRAP  
RAKE/FASCIA, NEW  
VENTED VINYL SOFFIT,  
NEW 5" GUTTERS &  
DOWNSPOUTS



REMOVE EX., INSTALL  
NEW ADDRESS  
NUMBERS  
EX. SHINGLE ROOF  
SYSTEM TO REMAIN

REMOVE EX., INSTALL  
NEW VINYL WINDOWS

REMOVE EX., INST.  
NEW EXTERIOR LIGHT  
FIXTURE

REMOVE EX.  
LANDSCAPING/  
SHRUBS/ OVERGROWTH  
FROM AROUND  
BUILDING - RESTORE  
IMPACTED AREAS W/  
TOPSOIL & SEED

REMOVE EX., INSTALL  
NEW EXTERIOR DOOR  
FRAMES, HARDWARE &  
STORM DOORS.

REMOVE EX., INST.  
NEW CRAWL SPACE  
VENTS - TYP. /  
LOCATIONS

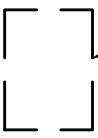
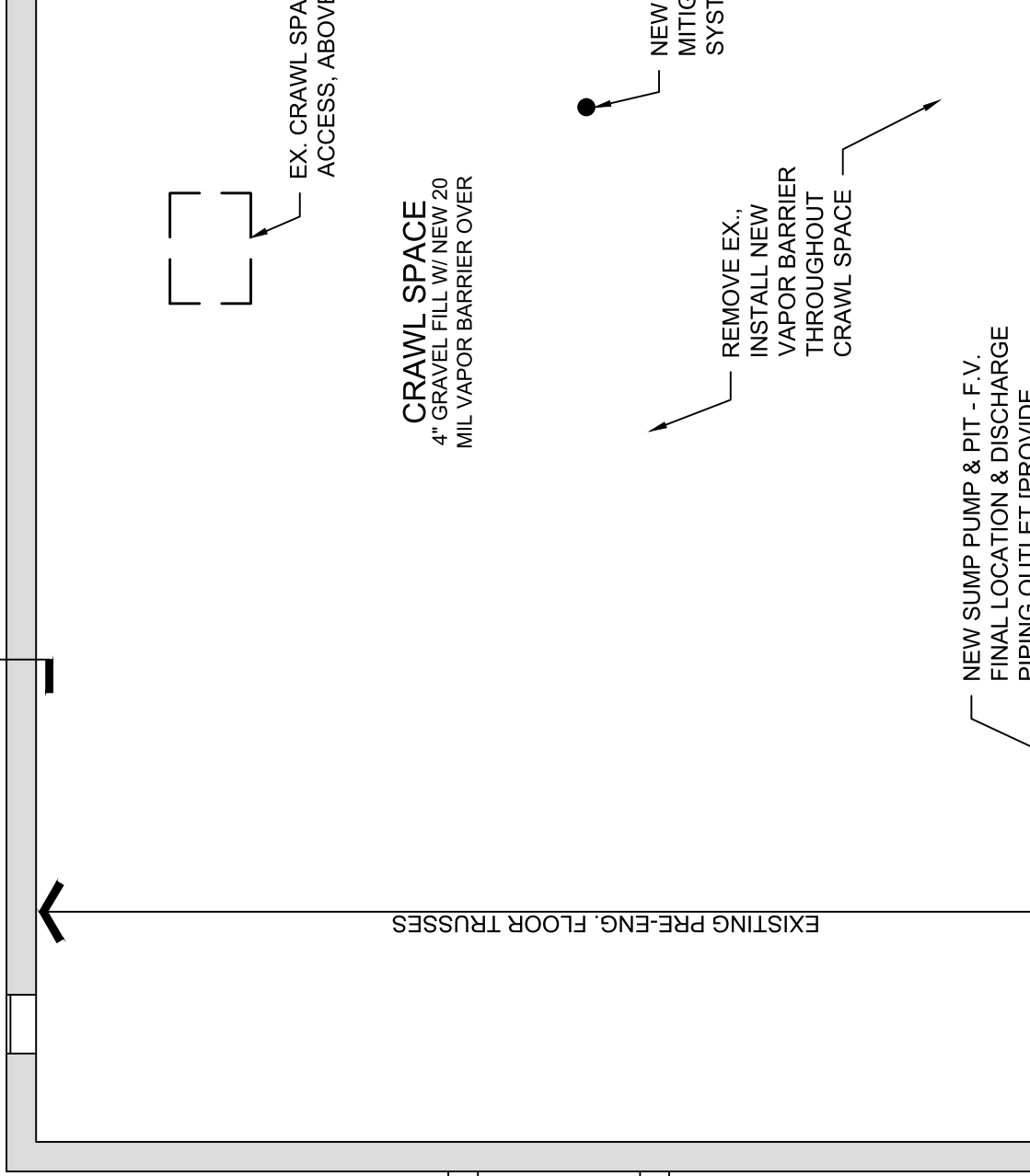
### SOUTHWEST CORNER



EX. SHINGLE ROOF  
SYSTEM TO REMAIN

REMOVE EX., INSTALL  
NEW ALUM. WRAP  
RAKE/FASCIA, NEW  
VENTED VINYL SOFFIT  
NEW 5" GUTTERS &  
DOWNSPOUTS

REMOVE EX. INSTAL



EX. CRAWL SPA  
ACCESS, ABOVE

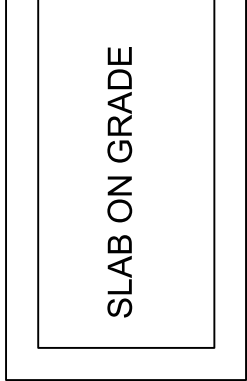
**CRAWL SPACE**  
4" GRAVEL FILL W/ NEW 20  
MIL VAPOR BARRIER OVER

NEW  
MITIG  
SYST

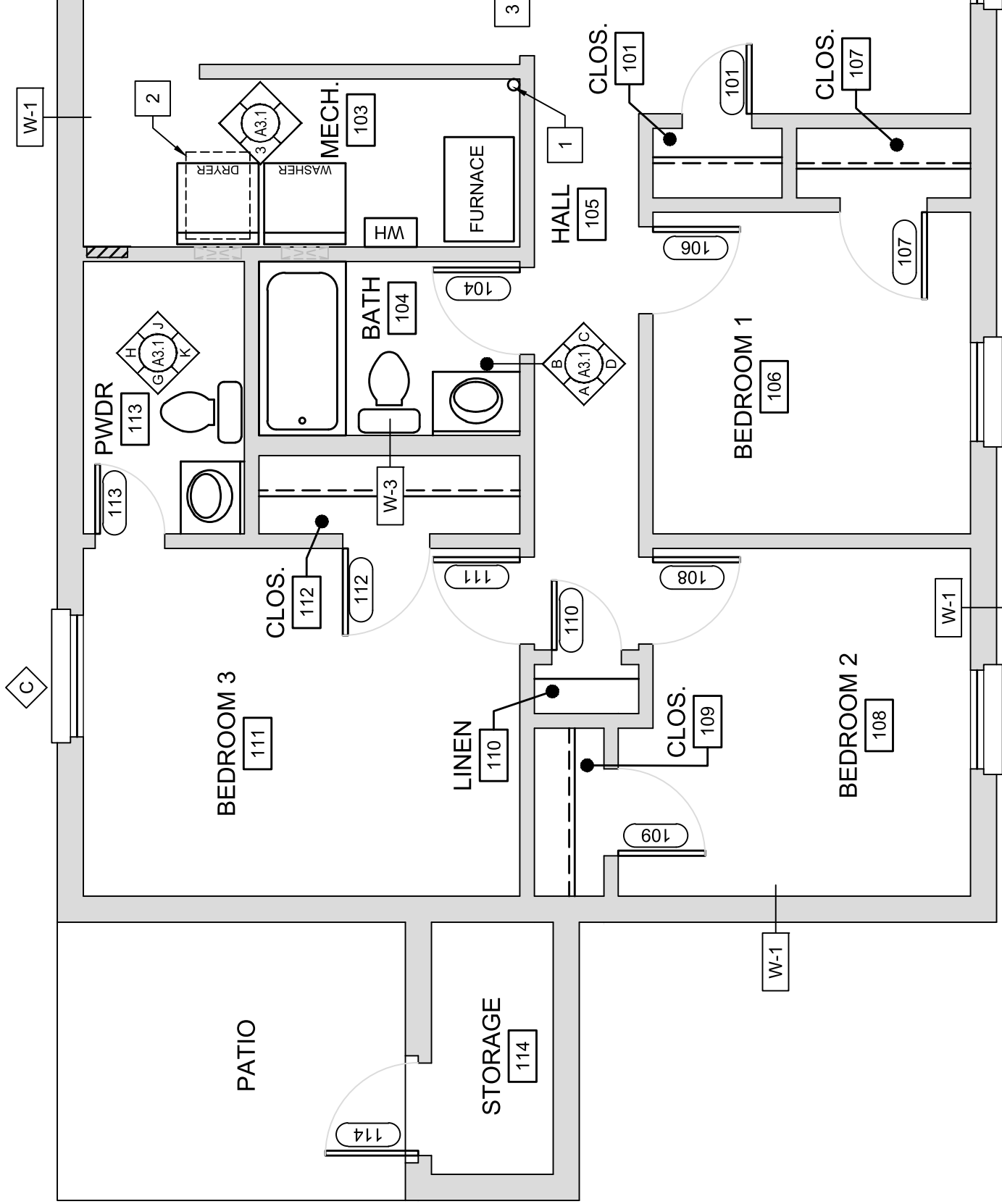
REMOVE EX.,  
INSTALL NEW  
VAPOR BARRIER  
THROUGHOUT  
CRAWL SPACE

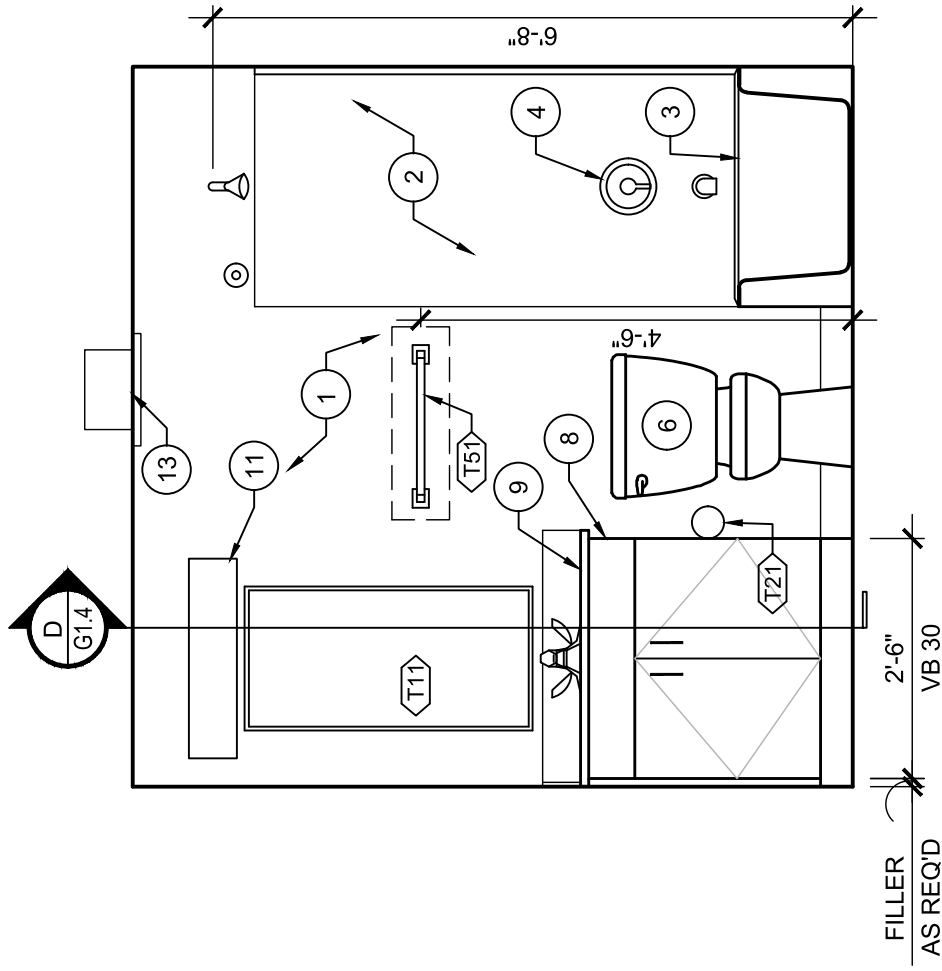
NEW SUMP PUMP & PIT - F.V.  
FINAL LOCATION & DISCHARGE  
PIPING OUTLET PROVIDE

EXISTING PRE-ENG. FLOOR TRUSSES

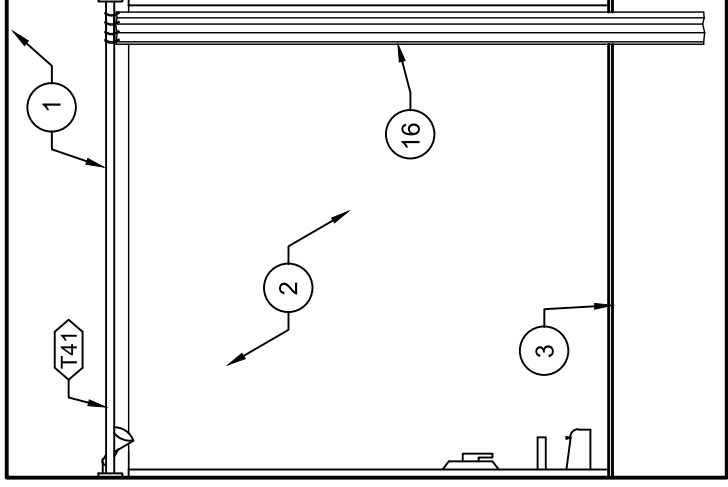


SLAB ON GRADE





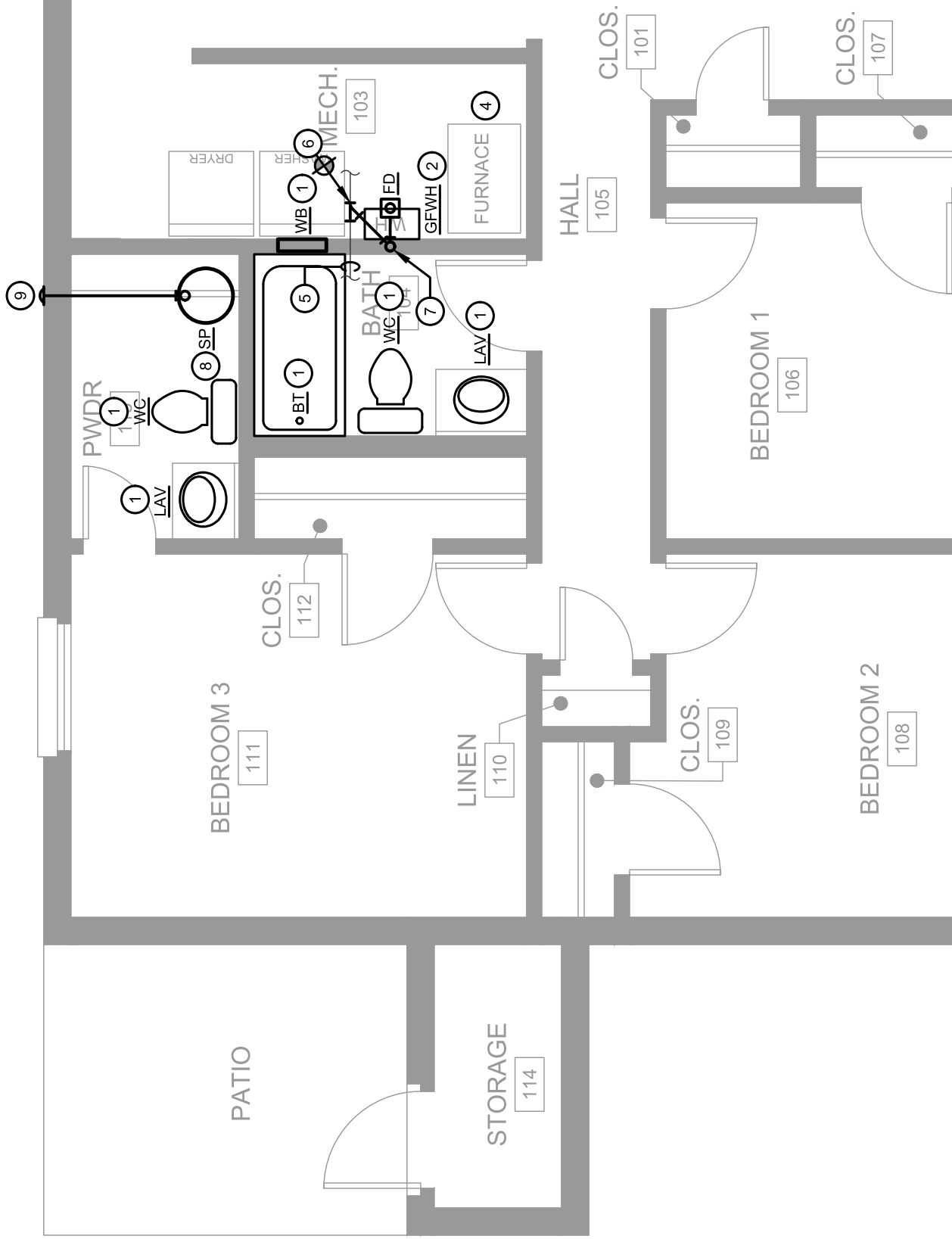
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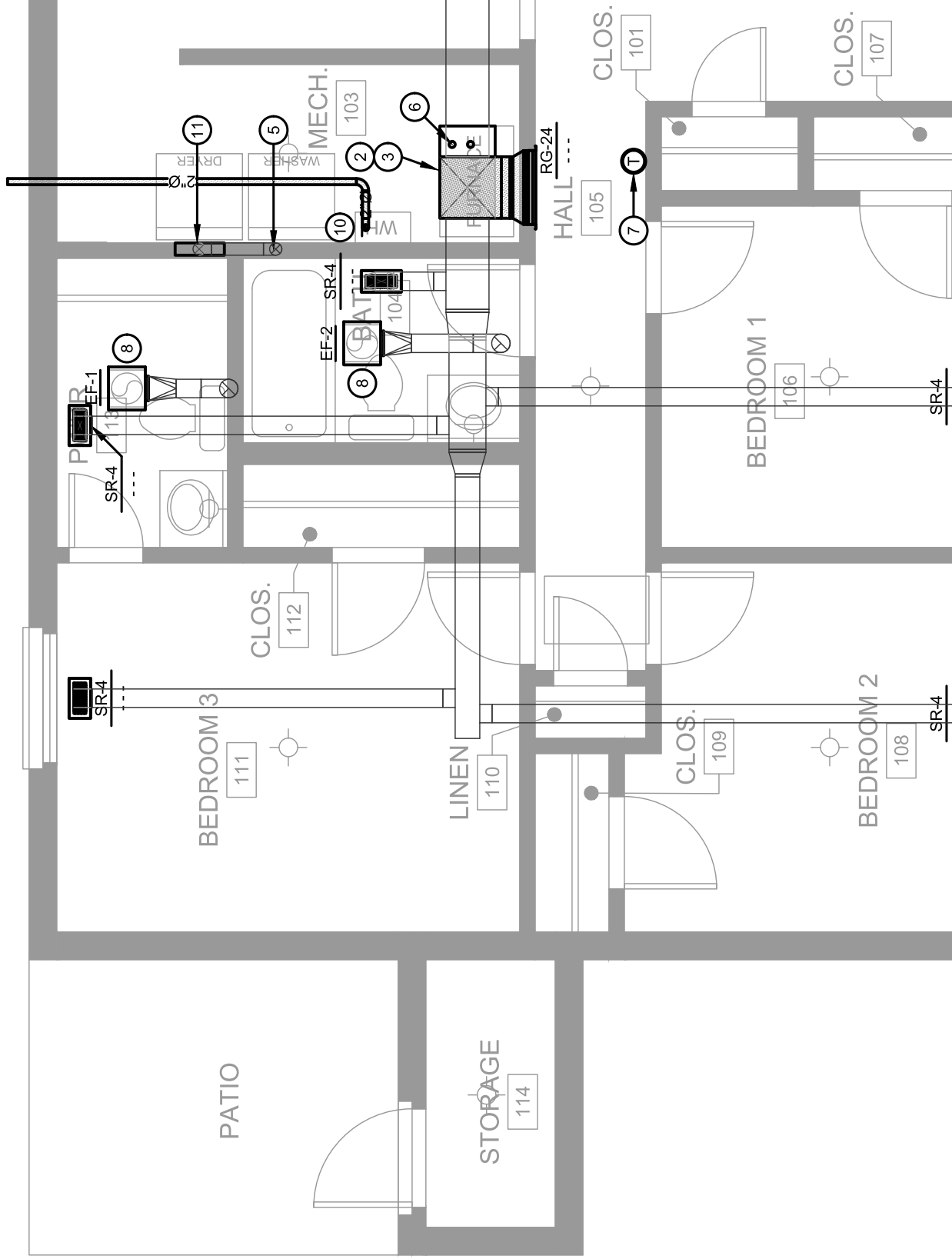


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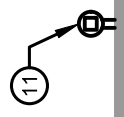
# INTERIOR ELEVATIONS AT BATH 104

SCALE: 1/2" = 1'-0"

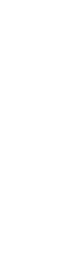
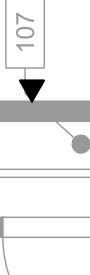
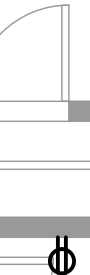
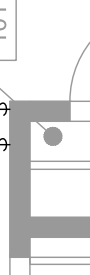
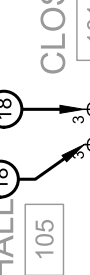




EXISTING METER



ELECTRICAL EQUIPMENT SHOWN WITHIN DASHED LINE TO BE INSTALLED IN ATTIC SPACE.



Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	20	1
3	30	2
5		
7	20	1
9	15	1
11	20	1
13	15	1
15	20	1
17		
19		
21		

# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS:



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04-D1.1	EXISTING / DEMOLITION FLOOR PLANS
04-A1.1	PROPOSED FLOOR PLANS / ROOF PLAN
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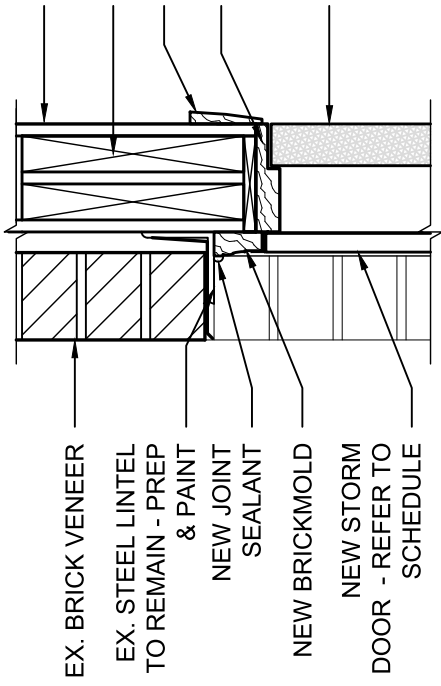
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#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	FOYER	F-1	B-1	W-1	C-1	-
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102	LIVING	F-1	B-1	W-1	C-1	-
103	KITCHEN	F-1	B-1	W-1	C-1	-
104	STORAGE	EX.	B-1	W-1	C-1	-
105	MECHANICAL	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	BATH	F-1	B-1	W-1	C-1	-
108	BEDROOM 1	F-1	B-1	W-1	C-1	-
109	CLOSET	F-1	B-1	W-1	C-1	-
110	BEDROOM 2	F-1	B-1	W-1	C-1	-
111	CLOSET	F-1	B-1	W-1	C-1	-
112	LINEN	F-1	B-1	W-1	C-1	-
113	LAUNDRY	F-1	B-1	W-1	C-1	-

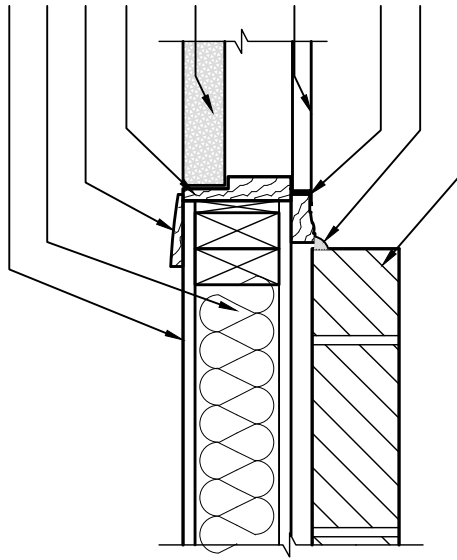
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4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
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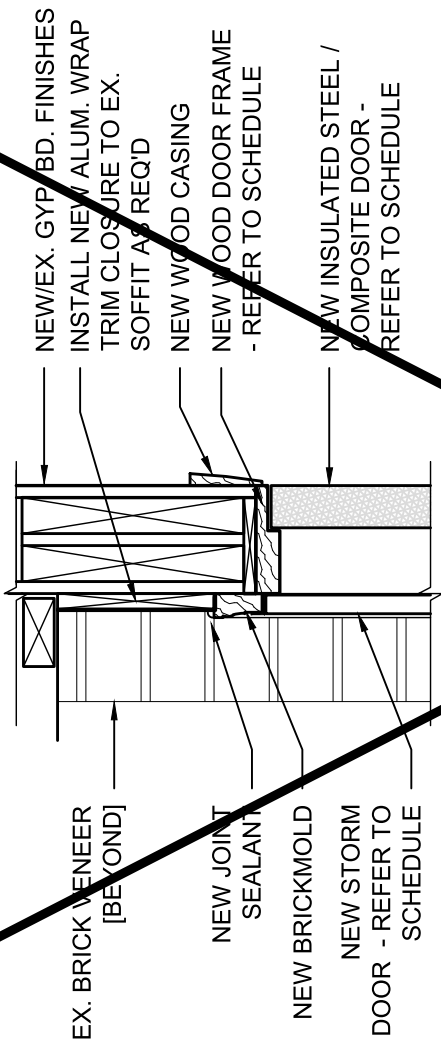
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



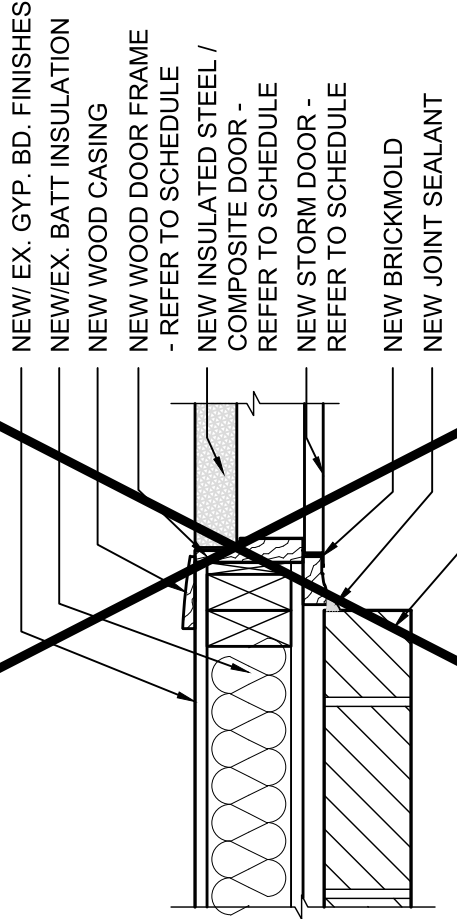
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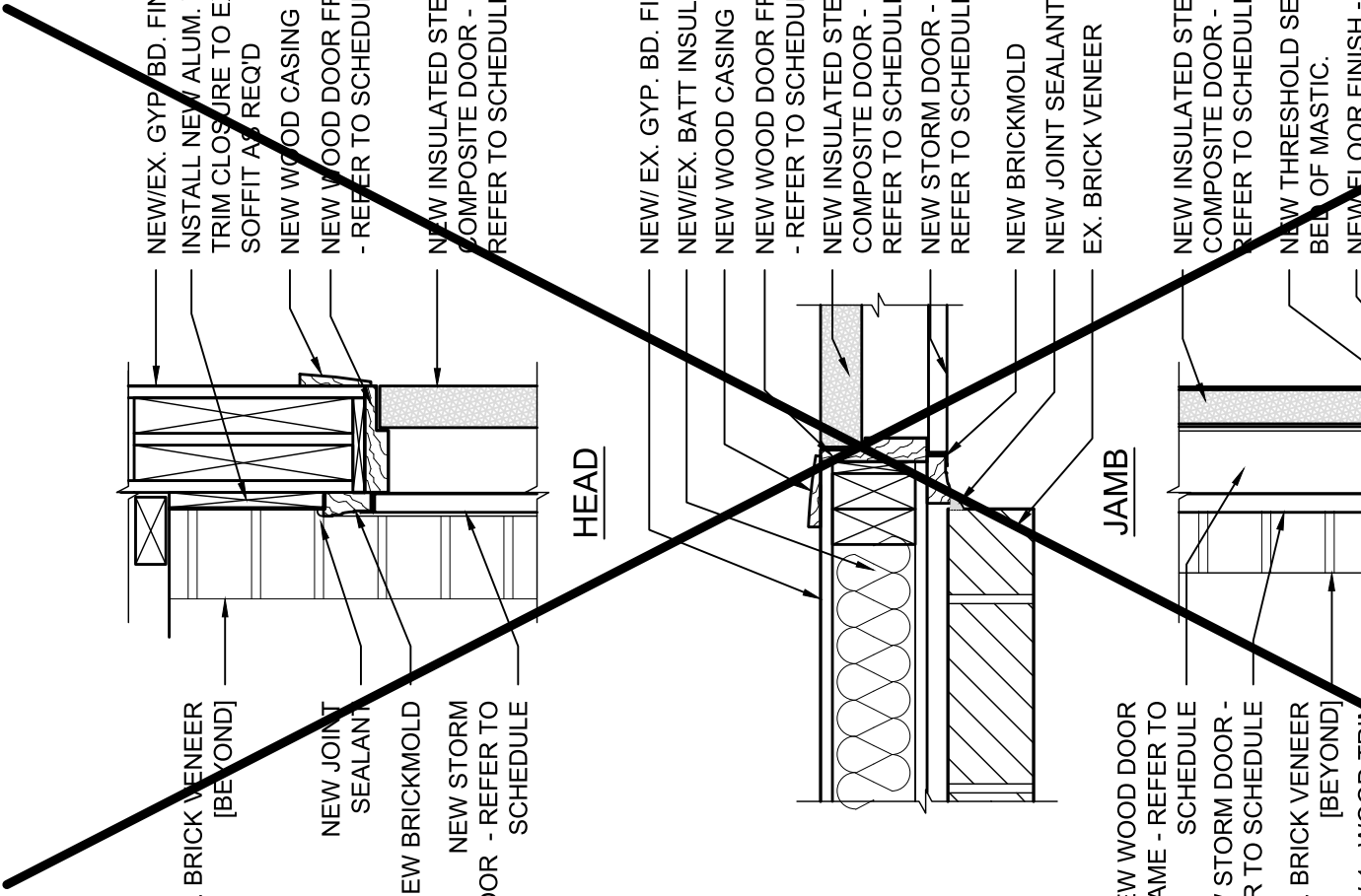
JAMB



HEAD



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY A LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THROUGH AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND PIPETUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB-MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND CONDITIONS, AND CORRECT ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED BEFORE ARCHITECT IMMEDIATELY, BEFORE COMMENCEMENT OF WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO REVISION DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE CONTRACTOR IF THEY ARE NOT CORRECTED BEFORE PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
    - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND THE CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
      - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN WORK PRIOR TO APPROVALS DUE TO SUCH CHANGES. THE CONTRACTOR'S RESPONSIBILITY IS TO VERIFY ALL INVESTIGATIVE WORK BE REQUIRED TO VERIFY ALL CONDITIONS, THE CONTRACT DOCUMENTS IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS.
      - 1.1.7. ANY PART OR PARTS OF THE PROJECT THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS.



REMOVE EX., INSTALL  
NEW SHINGLE ROOF  
SYSTEM

PREP & PAINT EX.  
STEEL GUARDRAIL -  
SEAL BTM. OF  
GUARDRAIL AT  
CONCRETE

PREP & PAINT EX.  
STEEL HANDRAIL

REMOVE EX. VERTICAL  
SIDING. INSTALL NEW  
VINYL LAP SIDING AT  
GABLE ENDS (INSTALL  
NEW BLOCKING AT  
GABLE ENDS)

REMOVE EX., INST.  
NEW ALUM. WRAP  
RAKE/FASCIA, N  
VENTED VINYL SOFFIT  
NEW 5" GUTTER  
DOWNSPOUTS

REMOVE EX. LANDSCAPE  
SHRUBS/ OVERGROWTH  
FROM AROUND BUILDING  
RESTORE IMPACTED AREA  
W/ TOPSOIL & SEED

REMOVE EX., INST.  
NEW CRAWL SPACE  
VENTS - TYPICAL  
LOCATION

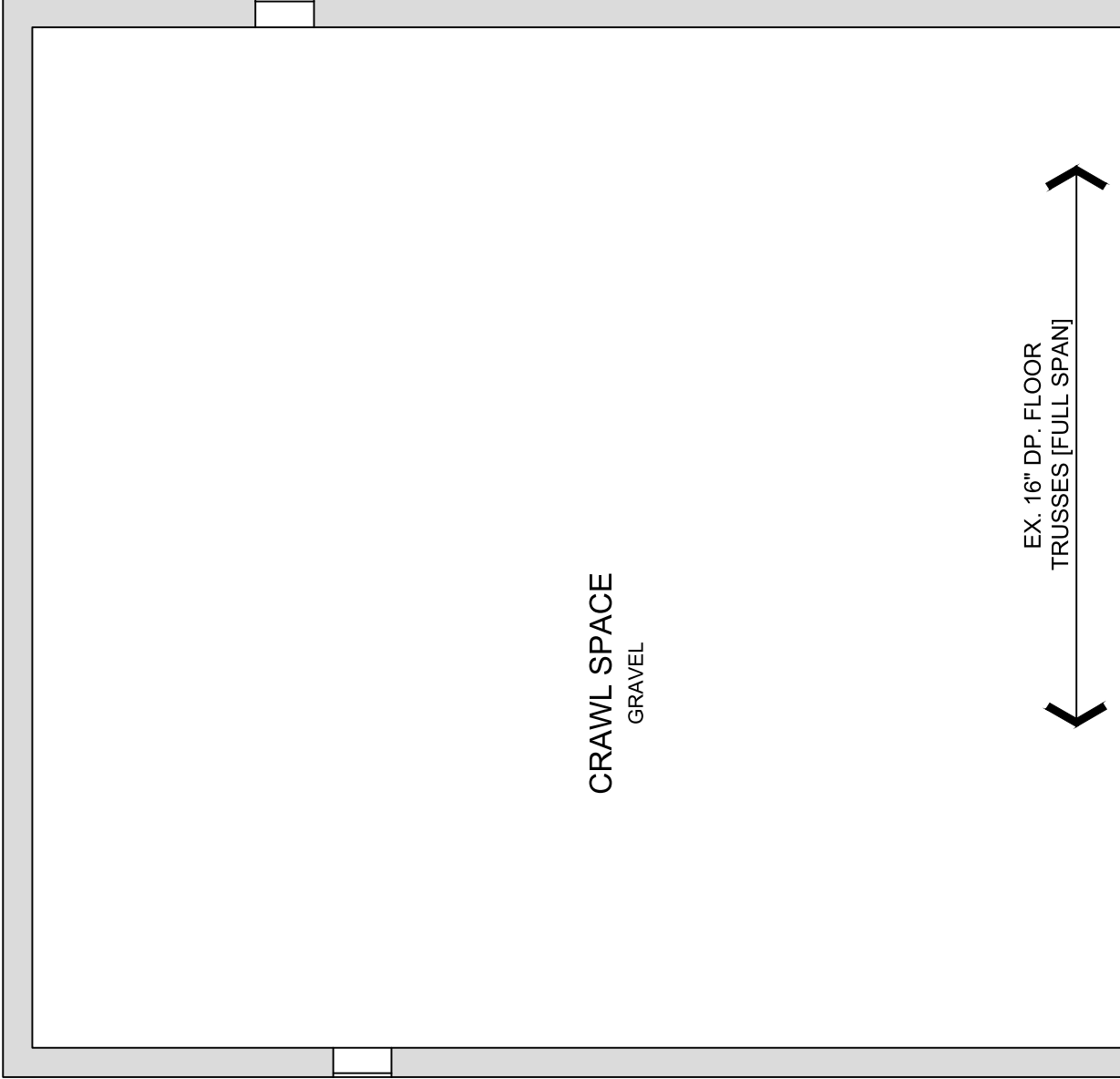
SOUTH ELEVATION



REMOVE EX., INSTALL  
NEW SHINGLE ROOF  
SYSTEM

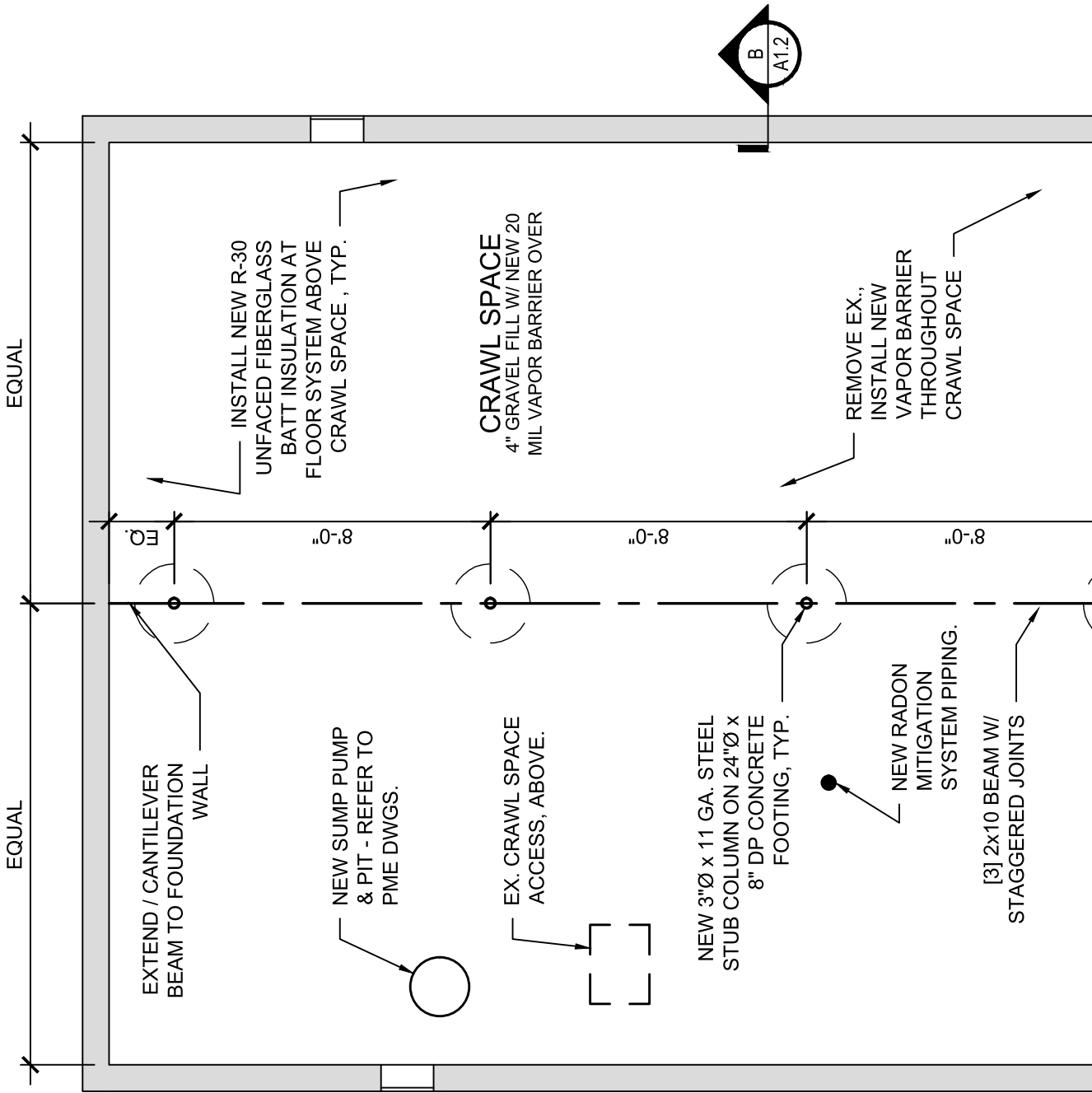
REMOVE EX., INSTALL  
NEW ALUM. WRAP  
RAKE/FASCIA, NEW  
VENTED VINYL SOFFIT  
NEW 5" GUTTERS &  
DOWNSPOUTS

REMOVE EX. VERTICAL



CRAWL SPACE  
GRAVEL

EX. 16" DP. FLOOR  
TRUSSES [FULL SPAN]



EQUAL

EQUAL

EXTEND / CANTILEVER  
BEAM TO FOUNDATION  
WALL

NEW SUMP PUMP  
& PIT - REFER TO  
PME DWGS.

EX. CRAWL SPACE  
ACCESS, ABOVE.

NEW 3"Ø x 11 GA. STEEL  
STUB COLUMN ON 24"Ø x  
8" DP CONCRETE  
FOOTING, TYP.

NEW RADON  
MITIGATION  
SYSTEM PIPING.

[3] 2x10 BEAM W/  
STAGGERED JOINTS

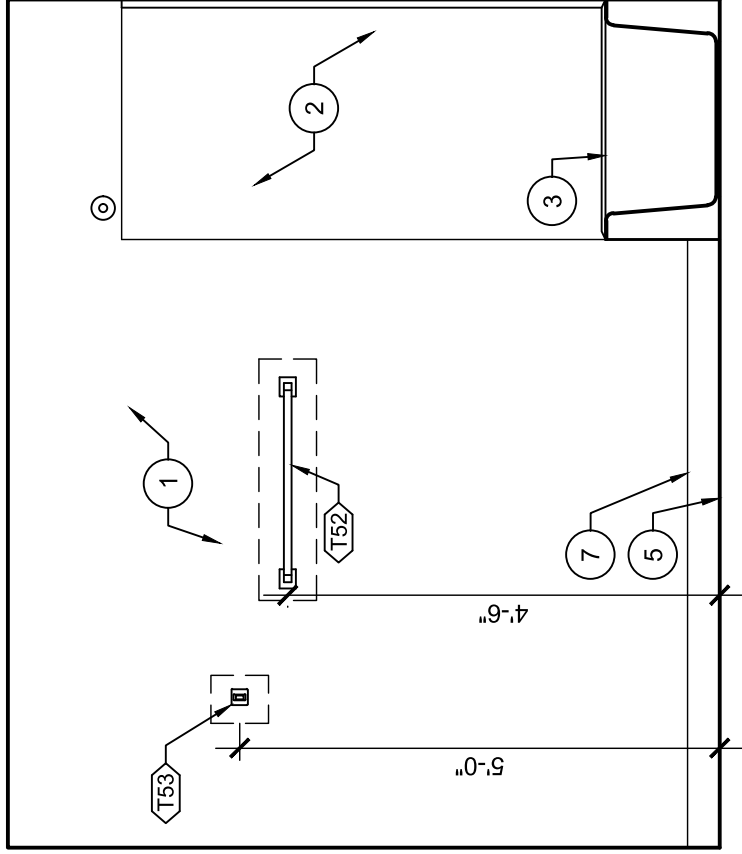
INSTALL NEW R-30  
UNFACED FIBERGLASS  
BATT INSULATION AT  
FLOOR SYSTEM ABOVE  
CRAWL SPACE, TYP.

CRAWL SPACE  
4" GRAVEL FILL W/ NEW 20  
MIL VAPOR BARRIER OVER

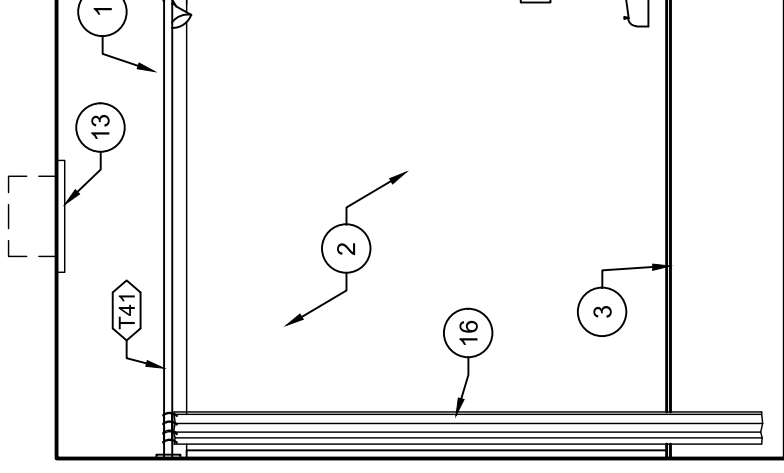
REMOVE EX.,  
INSTALL NEW  
VAPOR BARRIER  
THROUGHOUT  
CRAWL SPACE







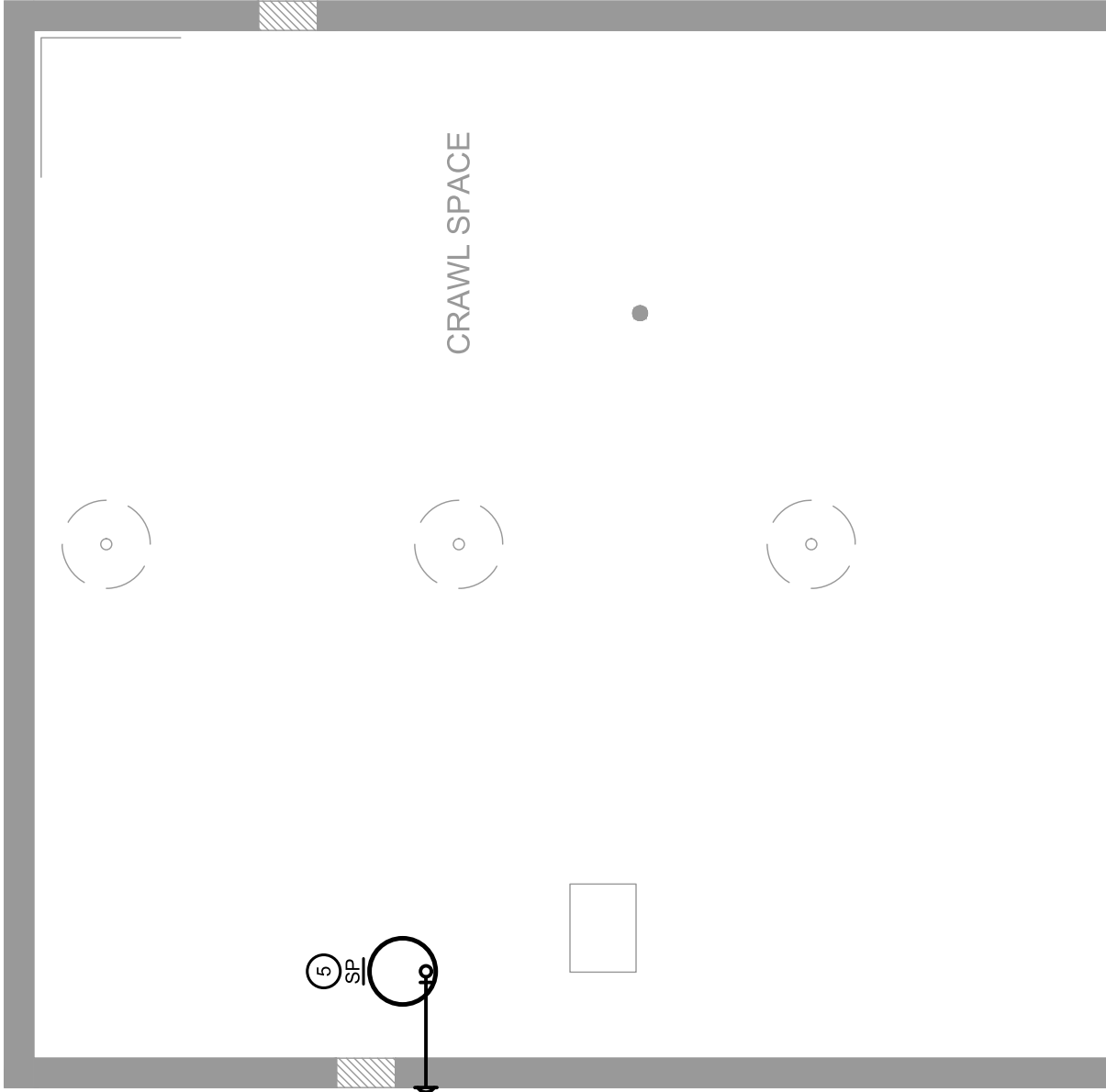
A

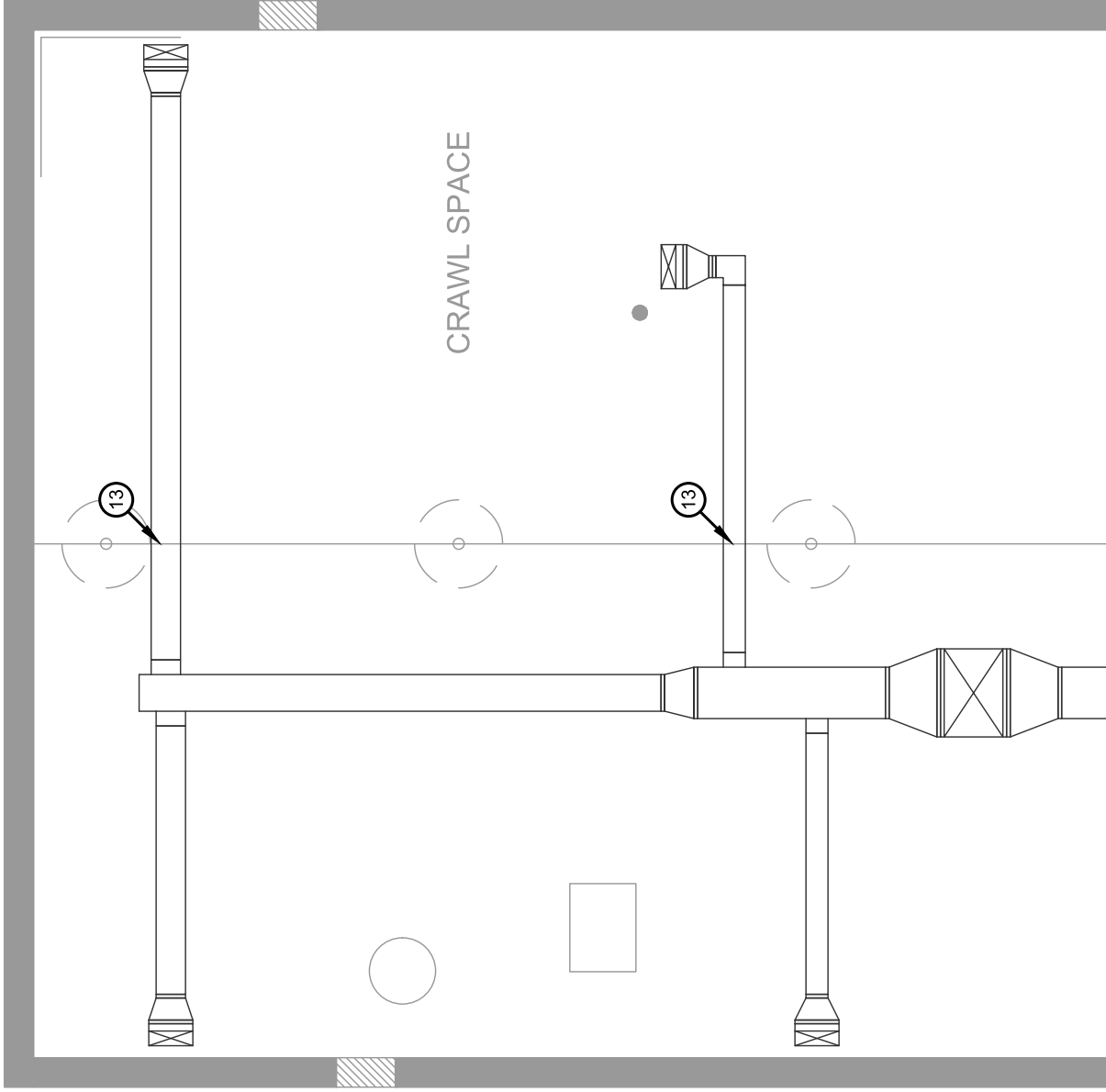


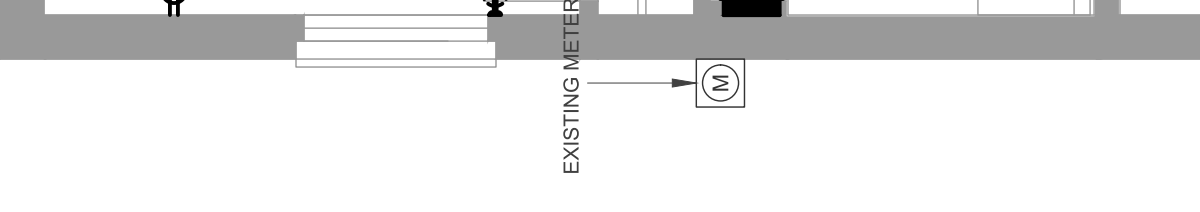
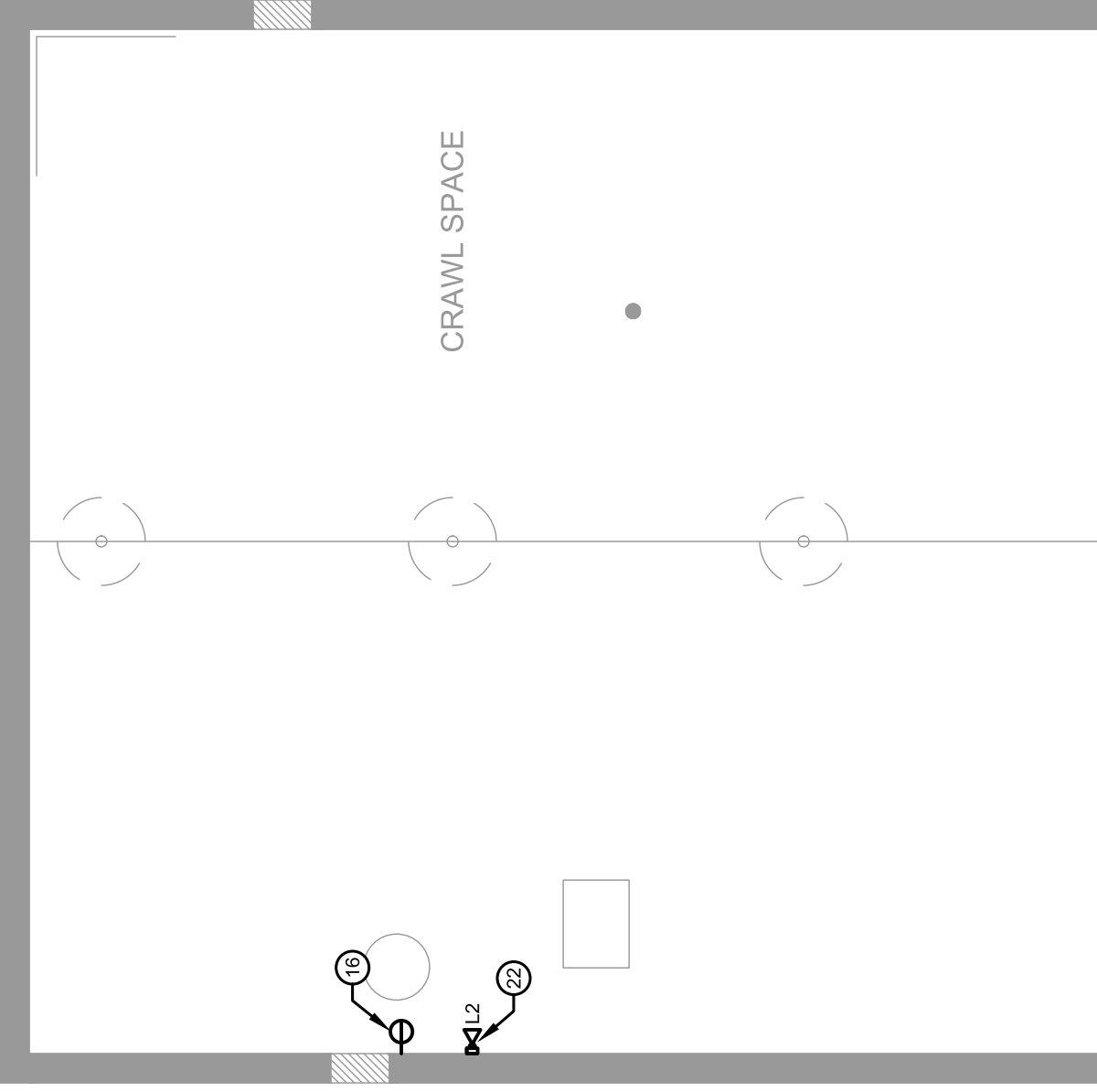
B

# INTERIOR ELEVATIONS AT BATH 205

SCALE: 1/2" = 1'-0"









# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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## SHEET INDEX

306 CHESTNUT AVE. [SITE 05]

05-G1.1	PROJECT INFORMATION
05-G1.2	SCHEDULES
05-G1.3	TYPICAL DETAILS
05-G1.4	TYPICAL DETAILS
05-G1.5	GENERAL PROJECT NOTES
05-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
05-D1.1	EXISTING / DEMOLITION FLOOR PLANS
05-A1.1	PROPOSED FLOOR PLANS / ROOF PLAN
05-A1.2	REFLECTED CEILING PLANS
05-A3.1	INTERIOR ELEVATIONS
05-P1.1	PLUMBING PLAN
05-M1.1	MECHANICAL PLAN
05-E1.1	ELECTRICAL PLAN
05-E5.1	ELECTRICAL SCHEDULES & NOTES

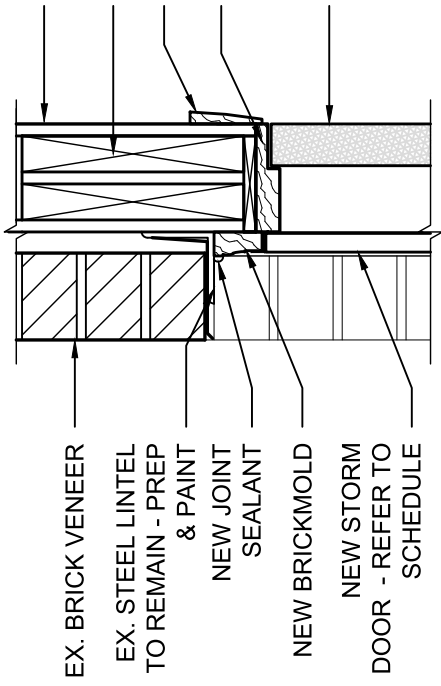
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	UNFINISHED BASEMENT	EX.	-	W-2	-	-
100	ENTRY	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	STORAGE	EX.	B-1	W-1	C-1	-
103	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
104	LIVING	F-1	B-1	W-1	C-1	-
105	DINING	F-1	B-1	W-1	C-1	-
106	KITCHEN	F-1	B-1	W-1	C-1	-
107	BATH	F-1	B-1	W-1	C-1	-
108	HALL	F-1	B-1	W-1	C-1	-
109	BEDROOM 1	F-1	B-1	W-1	C-1	-
110	CLOSET	F-1	B-1	W-1	C-1	-
111	BEDROOM 2	F-1	B-1	W-1	C-1	-
112	CLOSET	F-1	B-1	W-1	C-1	-
113	BEDROOM 3	F-1	B-1	W-1	C-1	-
114	CLOSET	F-1	B-1	W-1	C-1	-
115	LINEN	F-1	B-1	W-1	C-1	-
116	MECHANICAL	F-1	B-1	W-1	C-1	-

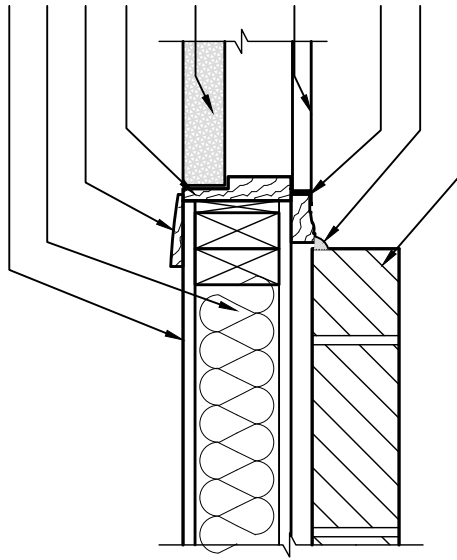
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

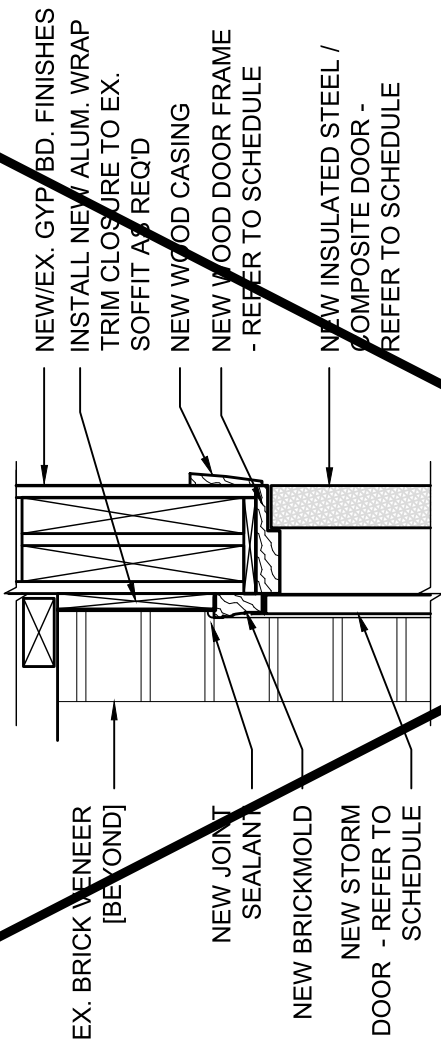
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



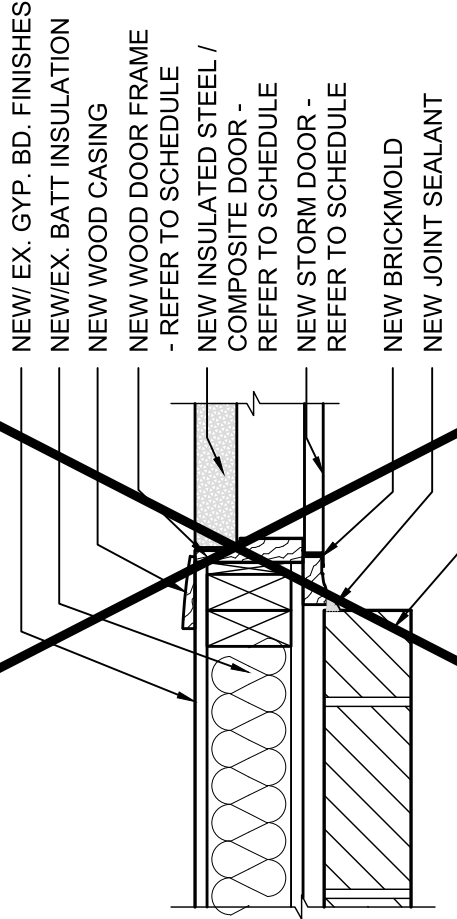
HEAD



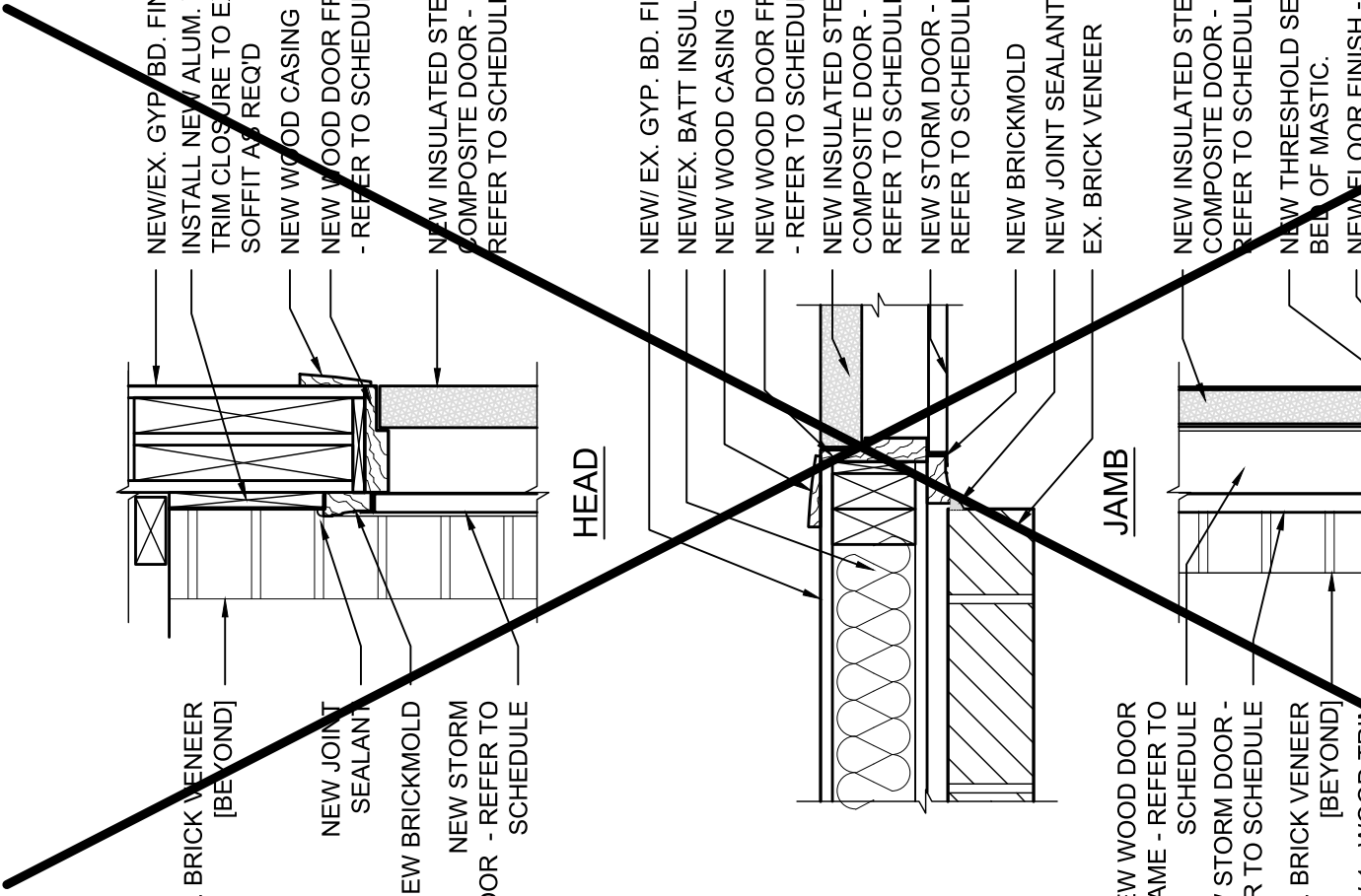
JAMB



HEAD



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

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2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
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  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
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    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT OR JOB CONDITIONS (INCLUDING PERMITS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT, IF ANY QUESTIONS OR DISCREPANCIES ARE IDENTIFIED BY CONSULTANTS, OR REGULATORY AGENCIES, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL NON APPROVALS DUE TO SUCH CHANGES. CONTRACTOR'S RESPONSIBILITY IS TO INVESTIGATIVE WORK BE REQUIRED TO VERIFY ALL CONDITIONS, THE CONTRACT DOCUMENTS, IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL
    - 1.1.7. ANY PART OR PARTS OF THE PROJECT THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL



REMOVE EX. VERTICAL SIDING. INSTALL NEW VINYL LAP SIDING AT GABLE ENDS (INSTALL NEW BLOCKING AT GABLE ENDS)

REMOVE EX., INST. NEW ALUM. WRAP RAKE/FASCIA, NEW VENTED VINYL SOFFIT NEW 5" GUTTER DOWNSPOUTS

REMOVE BASEMENT WINDOWS, INSTALL NEW GLASS BLOCK WINDOW IN EX. OPENING

REMOVE EX. OVERGROWTH FROM AROUND BUILDING RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

REMOVE EX., INSTALL NEW SHINGLE ROOF SYSTEM

REMOVE EX., INSTALL NEW ALUM. WRAP RAKE/FASCIA, NEW VENTED VINYL SOFFIT NEW 5" GUTTERS & DOWNSPOUTS

REMOVE EX. VERTICAL

REMOVE EX., INSTALL NEW SHINGLE ROOF SYSTEM

EX. CHAINLINK FENCE TO REMAIN

REMOVE EX., INSTALL NEW VINYL WINDOWS

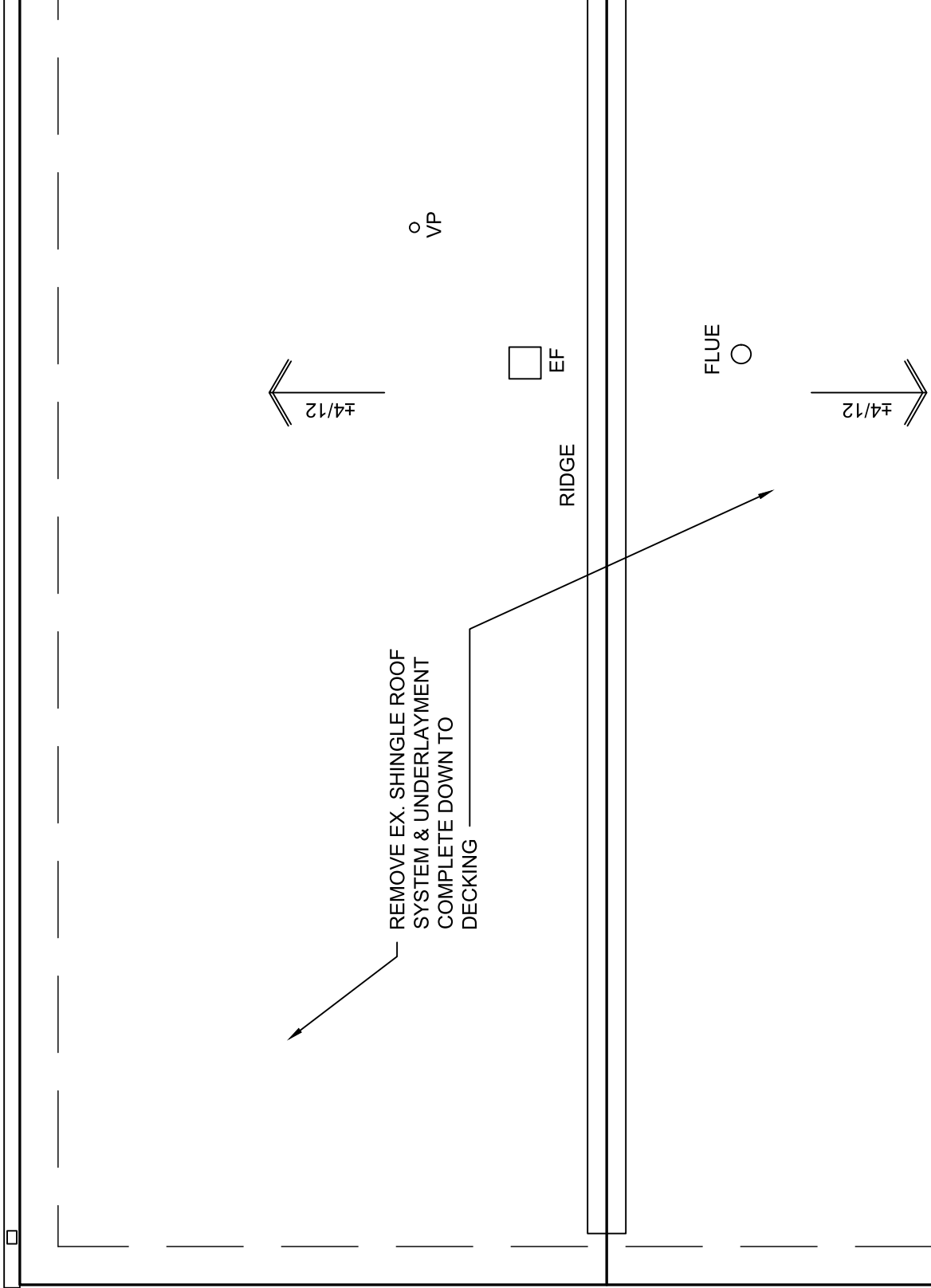
SOUTH ELEVATION



REMOVE EX. OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

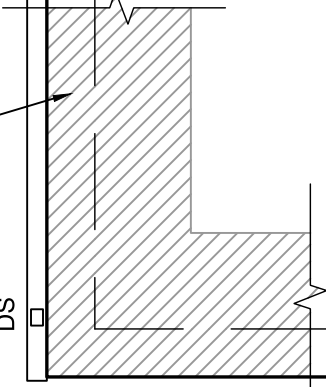
REMOVE EX. VERTICAL

DS

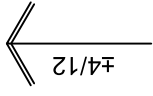


SELF ADHERING ICE  
& WATER SHIELD

DS



REMOVE EX.,  
INSTALL NEW  
SHINGLE ROOF  
SYSTEM &  
UNDERLAYMENT

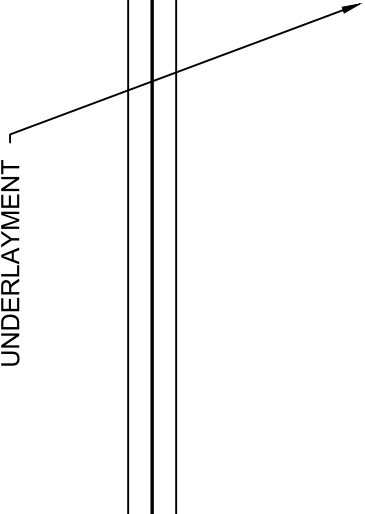
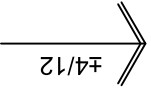


VP

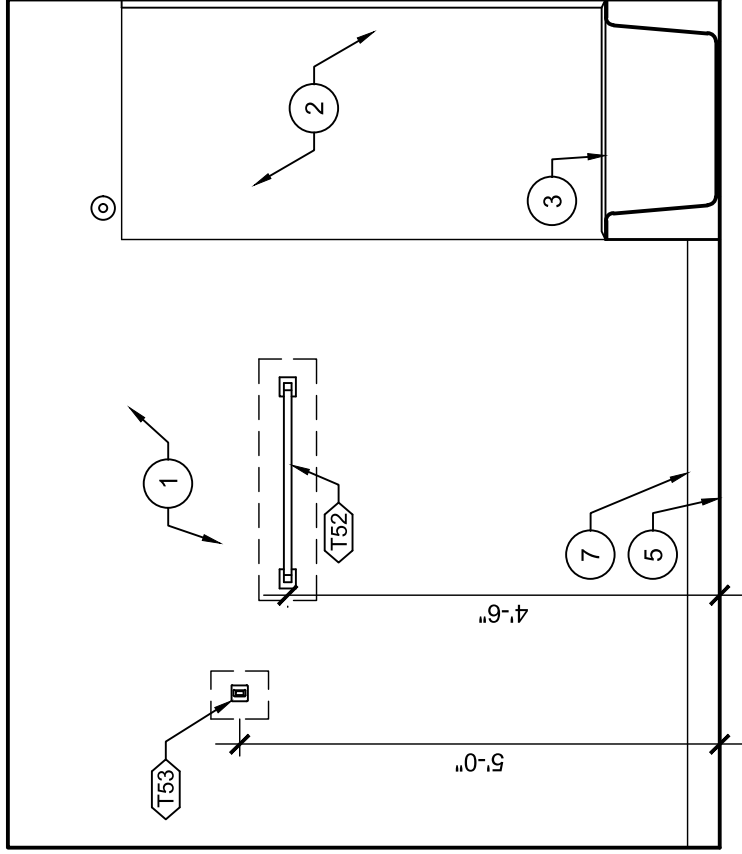


RIDGE

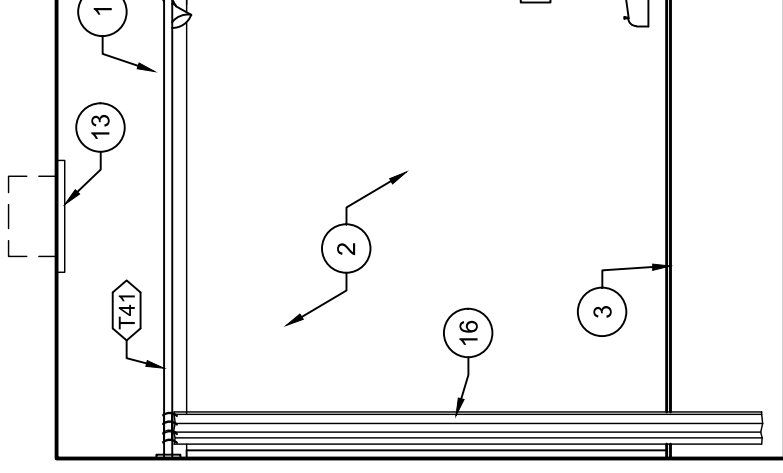
FLUE







A



B

# INTERIOR ELEVATIONS AT BATH 205

SCALE: 1/2" = 1'-0"

1 HB

3

KITCHEN  
(E) KS 6

1 BI

BATH  
107

WC 1

1 LAV

CLOSET  
115

CLOSET  
114

HALL  
108

MECH.  
116

4

5  
GFWH  
FD

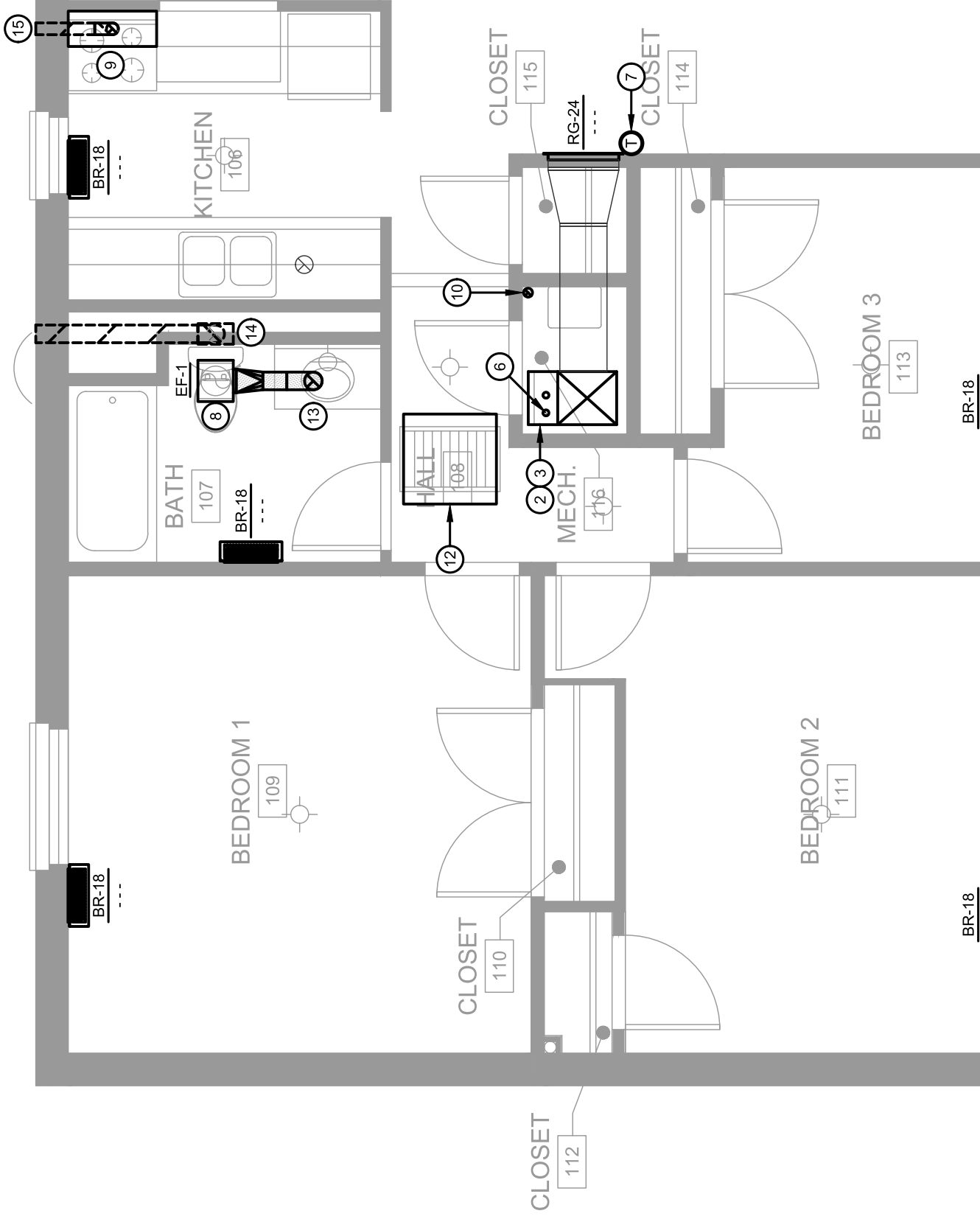
BEDROOM 3  
113

BEDROOM 1  
109

CLOSET  
110

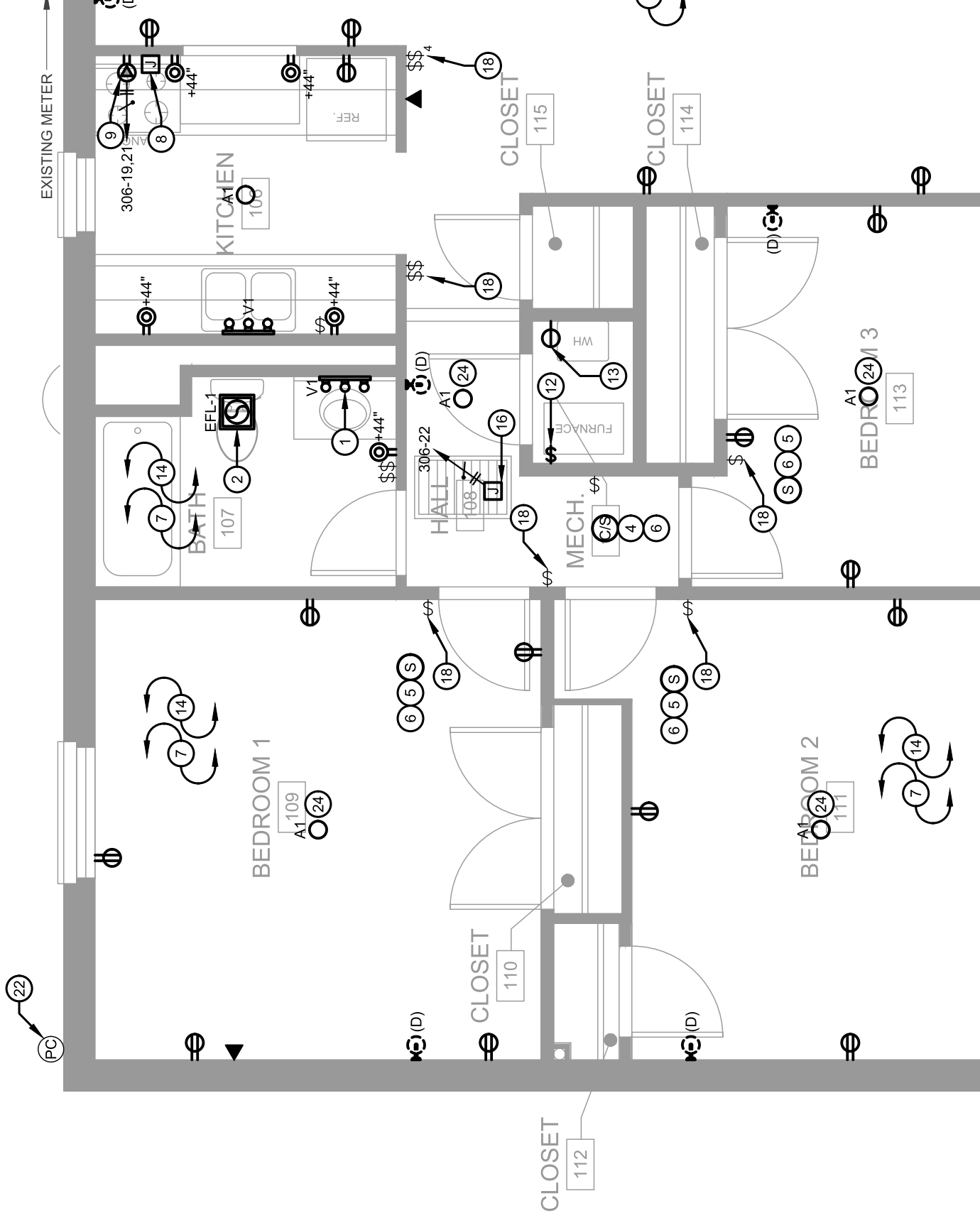
BEDROOM 2  
111

CLOSET  
112



BR-18

BR-18



Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	15	1
3	15	1
5	15	1
7	15	1
9	30	1
11	30	2
13		
15	20	1
17	20	1
19	40	2
21		
23	20	1
<b>Total Connected Load P</b>		<b>Total Connected Load P</b>
<b>Total Connected Load P</b>		<b>Total Connected Load P</b>

# Scatter Springf

## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206

### ENVIRONMENTAL CONSULTANT:



M.A.C. PARAN CONSULTING  
SERVICES, INC.

## SHEET INDEX

563 E. NORTHERN AVE. [SITE 06]

06-G1.1 PROJECT INFORMATION

06-G1.2 SCHEDULES

06-G1.3 TYPICAL DETAILS

06-G1.4 TYPICAL DETAILS

06-G1.5 GENERAL PROJECT NOTES

06-C1.1 ARCHITECTURAL SITE PLAN / EXTERIOR

06-D1.1 EXISTING / DEMOLITION FLOOR PLANS

06-A1.1 PROPOSED FLOOR PLANS / ROOF PLAN

06-A1.2 REFLECTED CEILING PLANS

06-A3.1 INTERIOR ELEVATIONS

06-P1.1 PLUMBING PLAN

06-M1.1 MECHANICAL PLAN

06-E1.1 ELECTRICAL PLAN

06-E5.1 ELECTRICAL SCHEDULES & NOTES

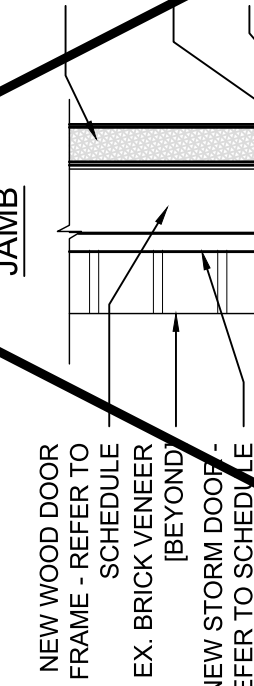
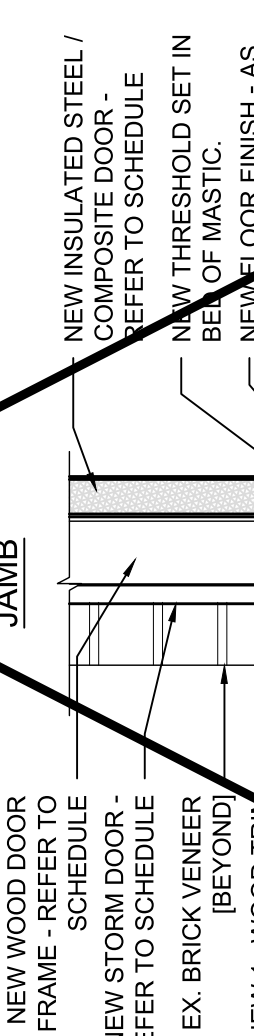
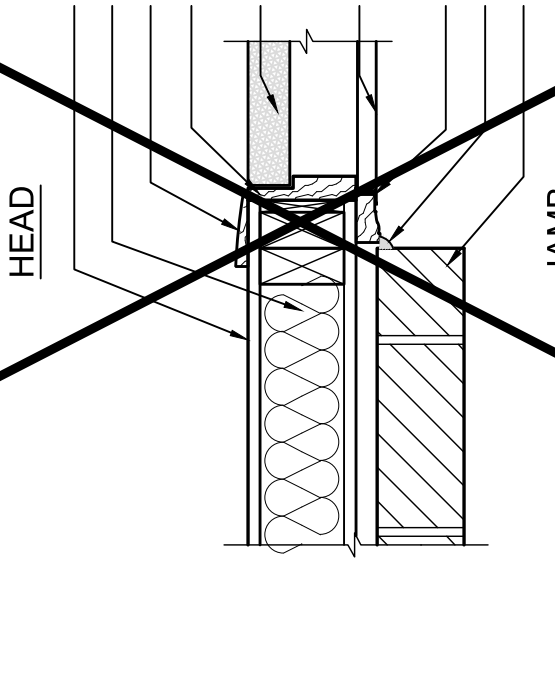
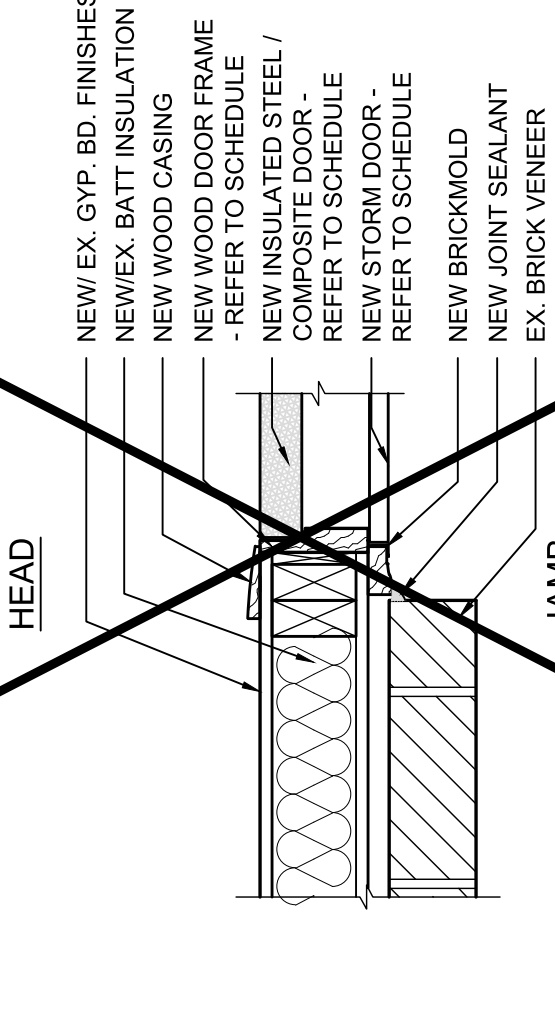
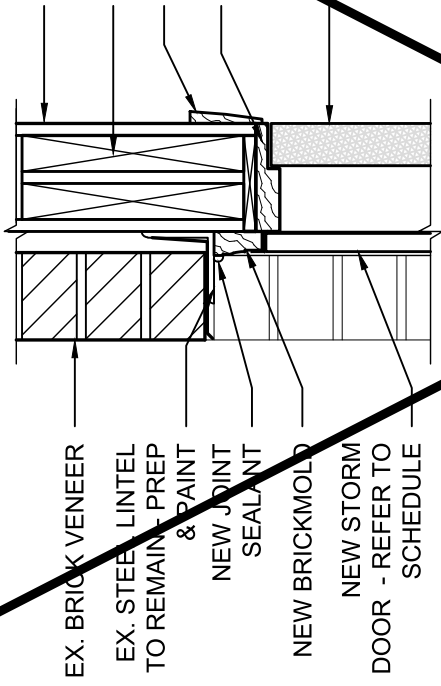
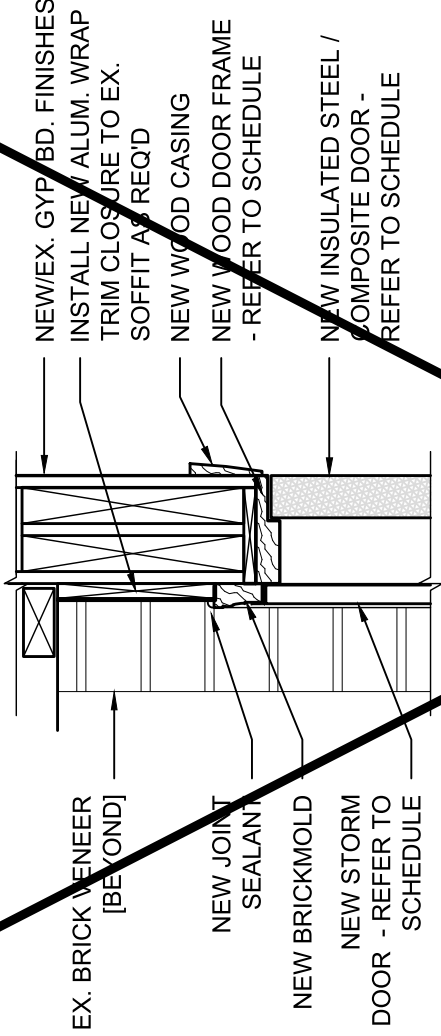
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	UNFINISHED BASEMENT	EX.	-	W-2	-	-
101	LIVING	F-1	B-2	W-1	C-1	-
102	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
103	CLOSET	F-1	B-2	W-1	C-1	-
104	DINING	F-1	B-2	W-1	C-1	-
105	KITCHEN	F-1	B-1	W-1	C-1	OVERLAY CLG. W/ 12" GYP. BD.
106	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
201	HALL	F-1	B-2	W-1	C-1	-
202	BEDROOM 1	F-1	B-2	W-1	C-1	-
203	CLOSET	F-1	B-2	W-1	C-1	-
204	BEDROOM 2	F-1	B-2	W-1	C-1	-
205	CLOSET	F-1	B-2	W-1	C-1	-
206	BEDROOM 3	F-1	B-2	W-1	C-1	-
207	CLOSET	F-1	B-2	W-1	C-1	-
208	BATH	F-1	B-1	W-1	C-1	-
209	LINEN	F-1	B-1	W-1	C-1	-

**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT IMMEDIATELY, BEFORE THE CONTRACTOR PROCEEDS WITH WORK. CONTRACTOR SHALL BE ANALYZED AND CAUSE THE CONTRACTOR TO CORRECT THE WORK. CONTRACTOR IF THEY ARE NOT PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL DIMENSIONS NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR DELIVERING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL DIMENSIONS NON APPROVALS DUE TO SUCH AS A CHANGE IN THE CONTRACTOR'S RESPONSIBILITY FOR INVESTIGATIVE WORK BE REQUIRED IMMEDIATELY, THE CONTRACTOR SHALL IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT IMMEDIATELY (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE REQUIRED IMMEDIATELY.
    - 1.1.7. ANY PART OR PARTS OF THE PROJECT THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE REQUIRED IMMEDIATELY.



REMOVE EX., INSTALL NEW SHINGLE ROOF SYSTEM

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT TO REMAIN.

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

REMOVE EX., INSTALL NEW ADDRESS NUMBERS

PREP & PAINT EX. MET RAILINGS & PORCH COLUMNS

REMOVE EX., INSTALL NEW 5" ALUM. GUTTERS & 2x3 DOWNSPOUTS

REMOVE EX., INSTALL NEW VINYL WINDOWS

REMOVE EX. OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

NORTHEAST CORNER



REMOVE EX., INSTALL NEW SHINGLE ROOF SYSTEM

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT TO REMAIN.

REMOVE EX., INSTALL 5" ALUM. GUTTERS & 2" DOWNSPOUTS

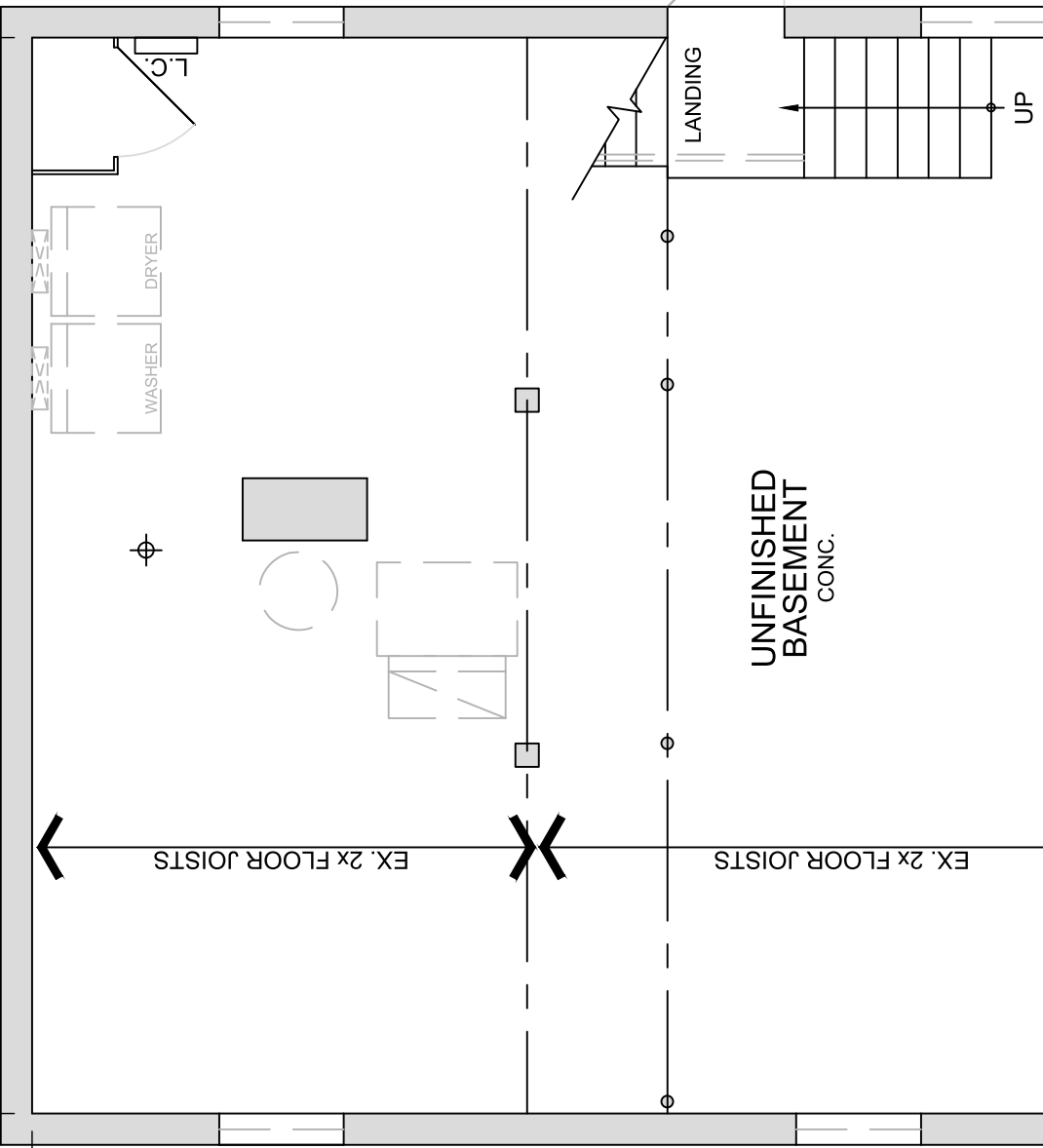
EX. VINYL LAP SIDING TO REMAIN - CLEAN /

REMOVE EX., INSTALL NEW VINYL WINDOWS

REMOVE EX., INSTALL NEW EXTERIOR DOORS

±23'-0"

±23'-0"



EX. 2x FLOOR JOISTS

EX. 2x FLOOR JOISTS

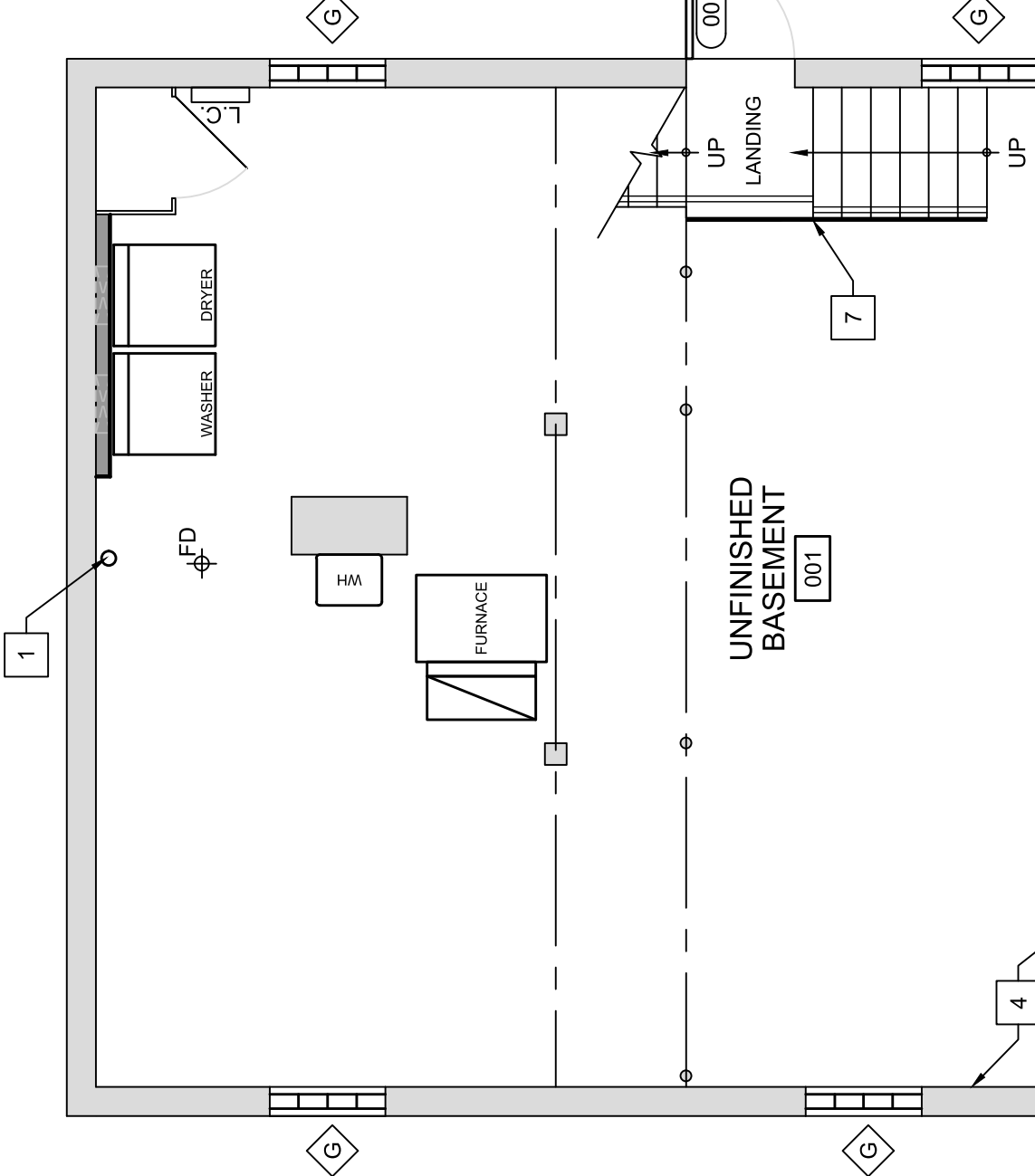
UNFINISHED  
BASEMENT  
CONC.

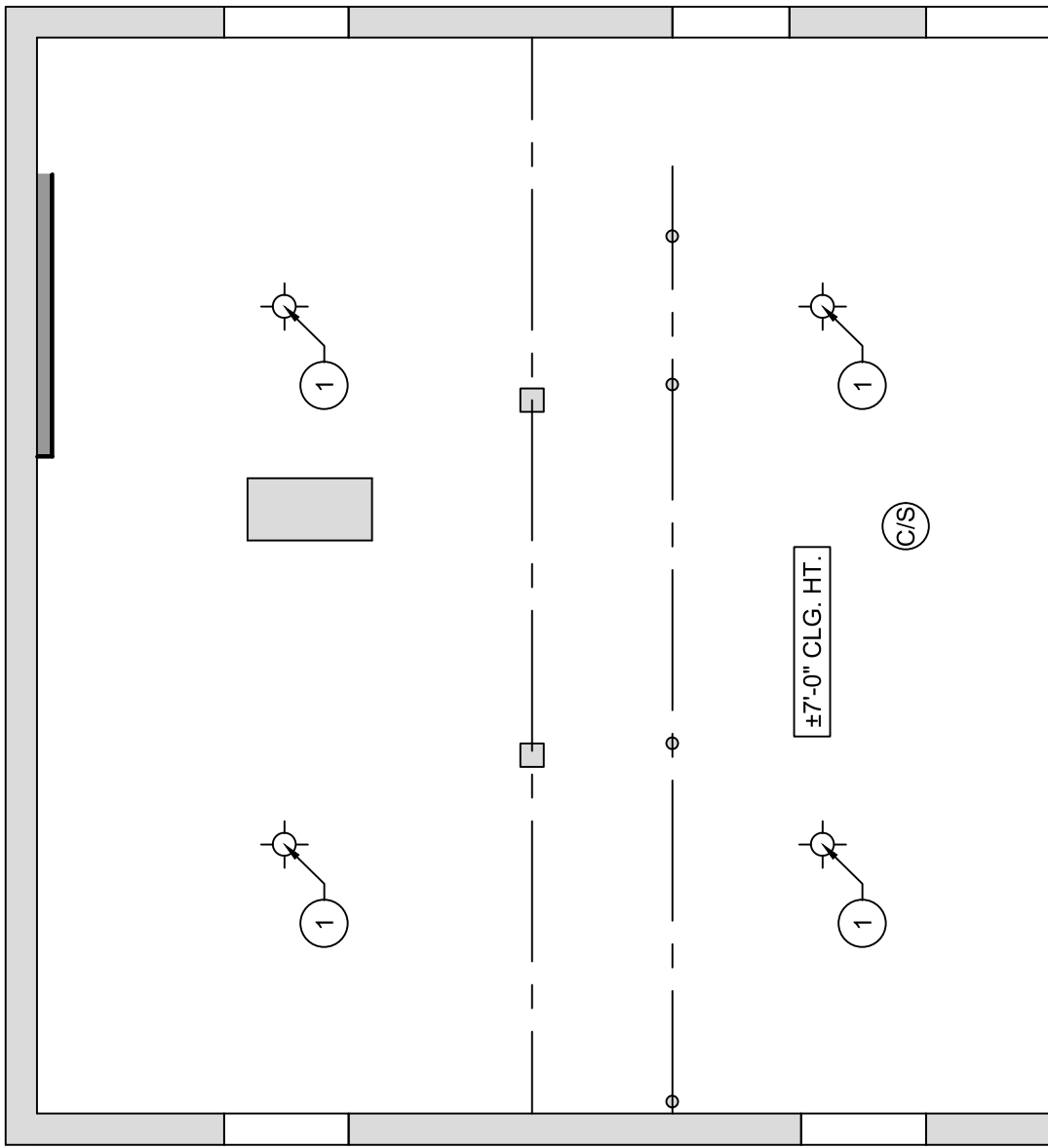
LANDING

UP

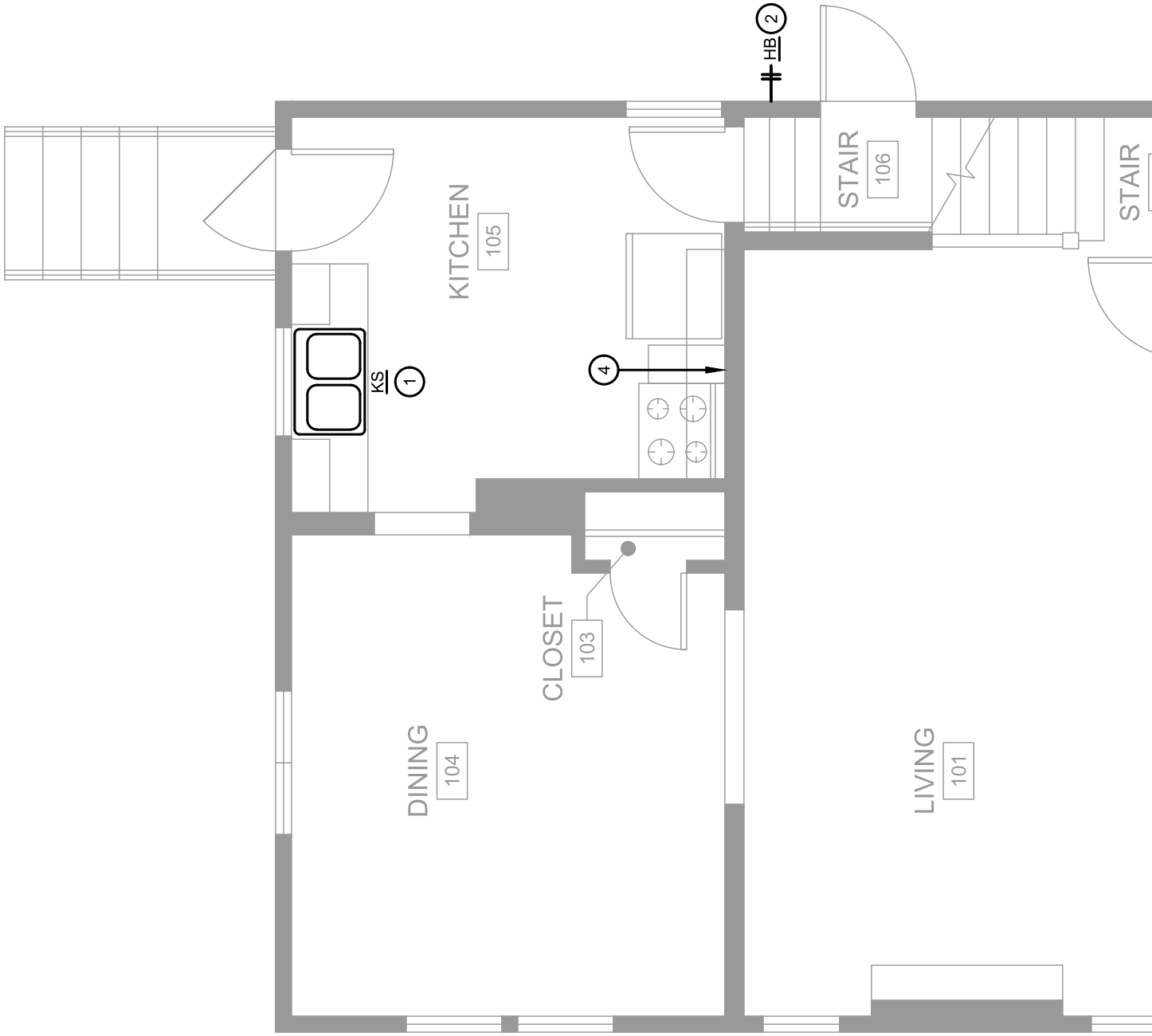
L.O.

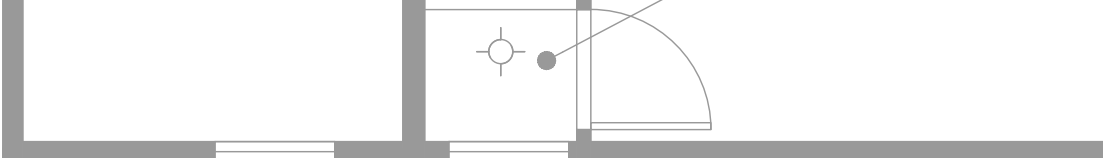
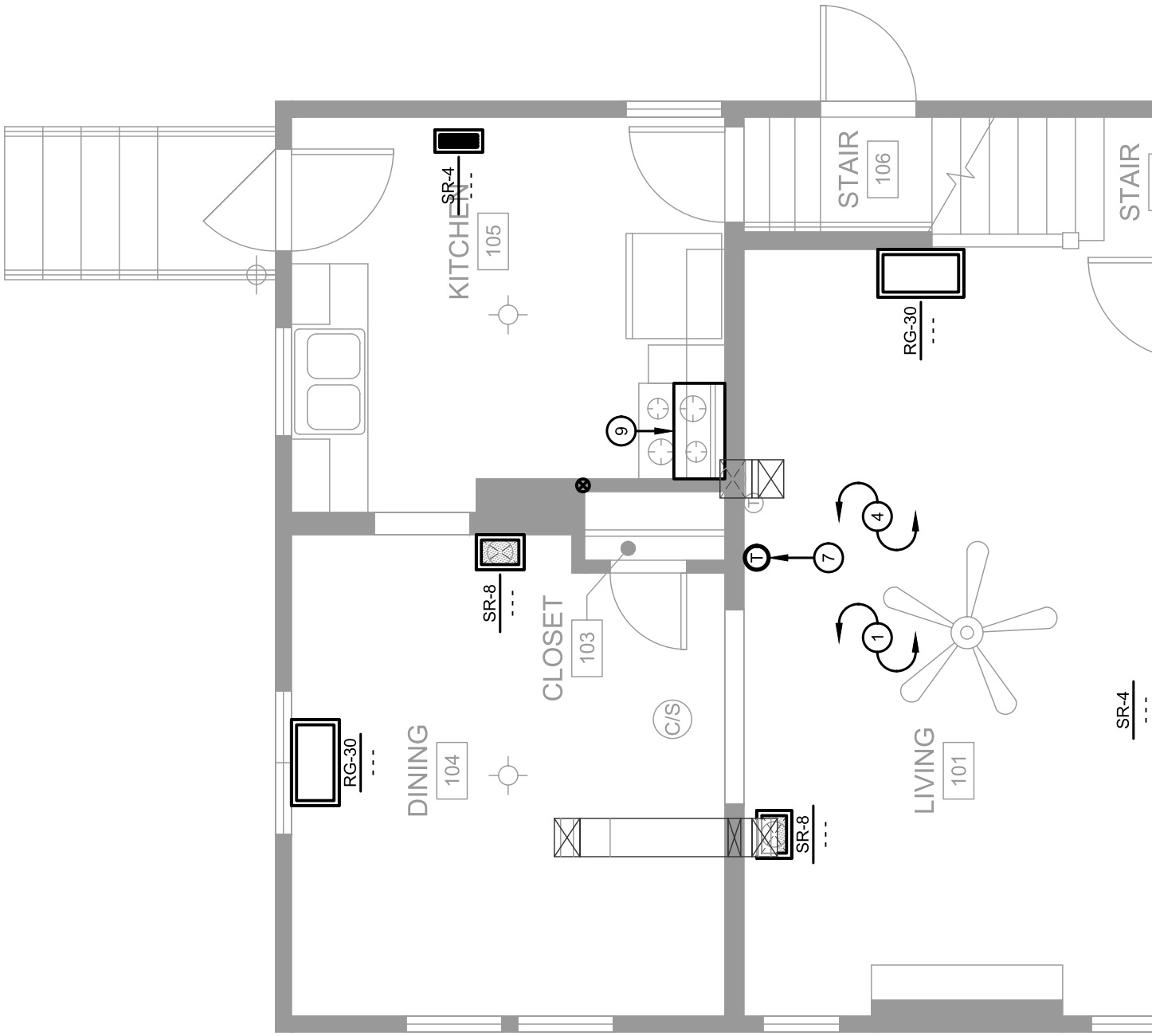
WASHER  
DRYER

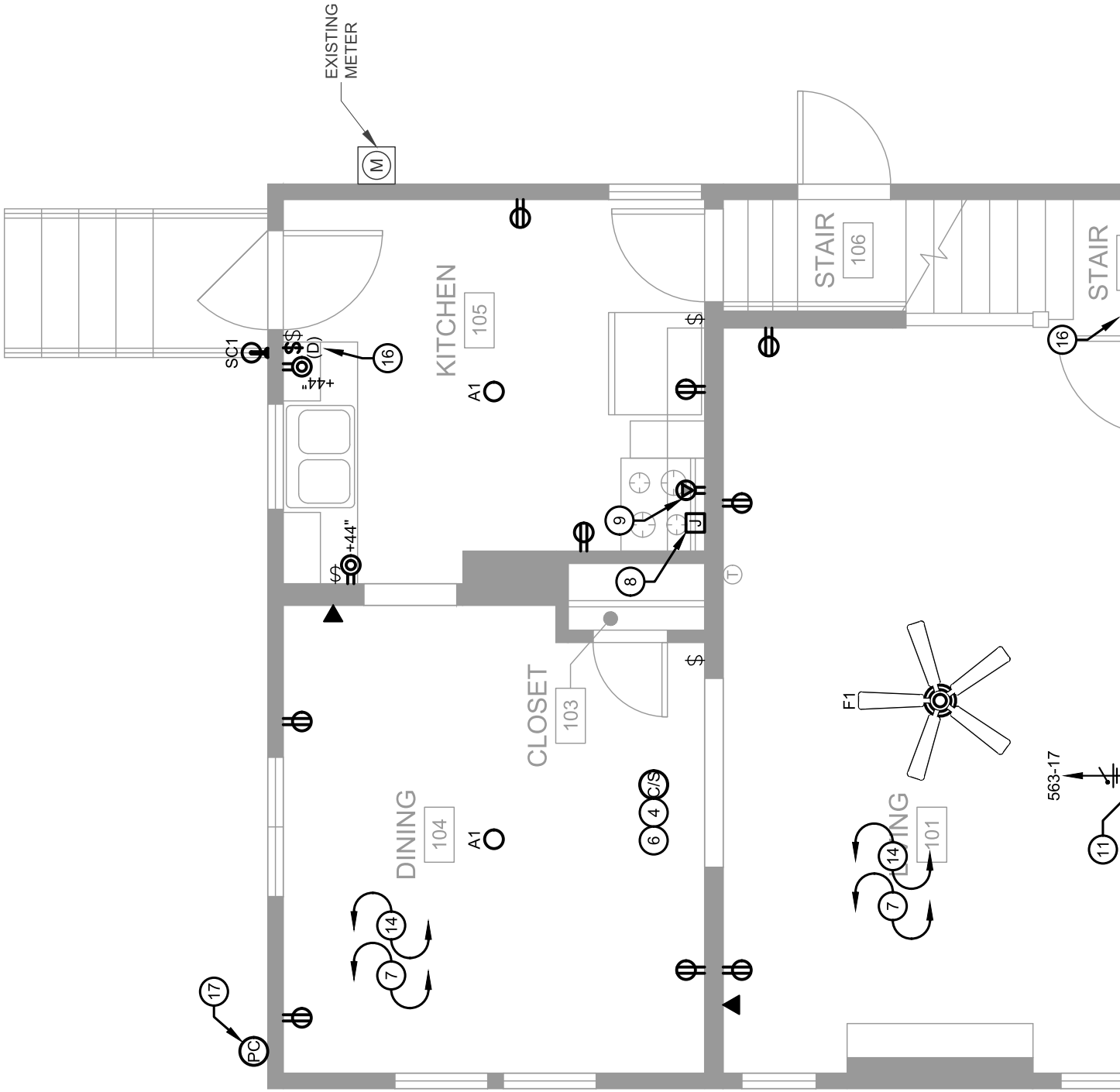












Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	30	2
3		
5	20	1
7	20	1
9	20	1
11	20	1
13	20	1
15	20	1
17	20	1
19	20	1
21		

# Scatter Springf

## PROJECT TEAM

ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

PME ENGINEERS:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206

ENVIRONMENTAL  
CONSULTANT:



M.A.C. PARAN CONSULTING  
SERVICES, INC.  
3959 FULTON GROVE RD.

## SHEET INDEX

328 WARREN DR. [SITE 07]

07-G1.1	PROJECT INFORMATION
07-G1.2	SCHEDULES
07-G1.3	TYPICAL DETAILS
07-G1.4	TYPICAL DETAILS
07-G1.5	GENERAL PROJECT NOTES
07-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
07-D1.1	EXISTING / DEMOLITION FLOOR PLANS
07-A1.1	PROPOSED FLOOR PLANS
07-A1.2	REFLECTED CEILING PLANS
07-A3.1	INTERIOR ELEVATIONS
07-P1.1	PLUMBING PLAN
07-M1.1	MECHANICAL PLAN
07-E1.1	ELECTRICAL PLAN
07-E5.1	ELECTRICAL SCHEDULES & NOTES

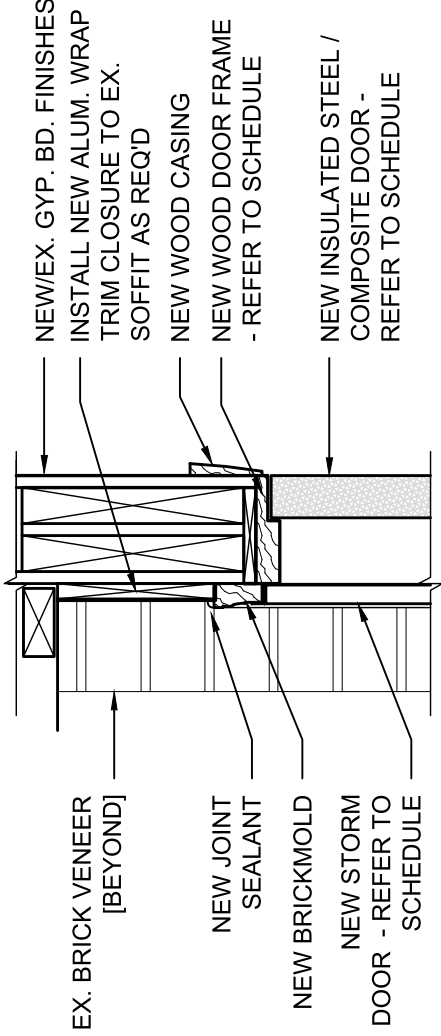
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	KITCHEN	F-1	B-1	W-1	C-1	-
103	CLOSET	F-1	B-1	W-1	C-1	-
104	POWDER	F-1	B-1	W-1	C-1	-
105	LAUNDRY/MECHANICAL	F-1	B-1	W-1	C-1	-
106	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
107	STORAGE	EX	B-1	W-1	C-1	-
200	HALL	F-1	B-1	W-1	C-1	-
201	BEDROOM 1	F-1	B-1	W-1	C-1	-
202	CLOSET	F-1	B-1	W-1	C-1	-
203	CLOSET	F-1	B-1	W-1	C-1	-
204	LINEN	F-1	B-1	W-1	C-1	-
205	BATH	F-1	B-1	W-1	C-1	-
206	BEDROOM 2	F-1	B-1	W-1	C-1	-
207	CLOSET	F-1	B-1	W-1	C-1	-
208	BEDROOM 3	F-1	B-1	W-1	C-1	-
209	CLOSET	F-1	B-1	W-1	C-1	-

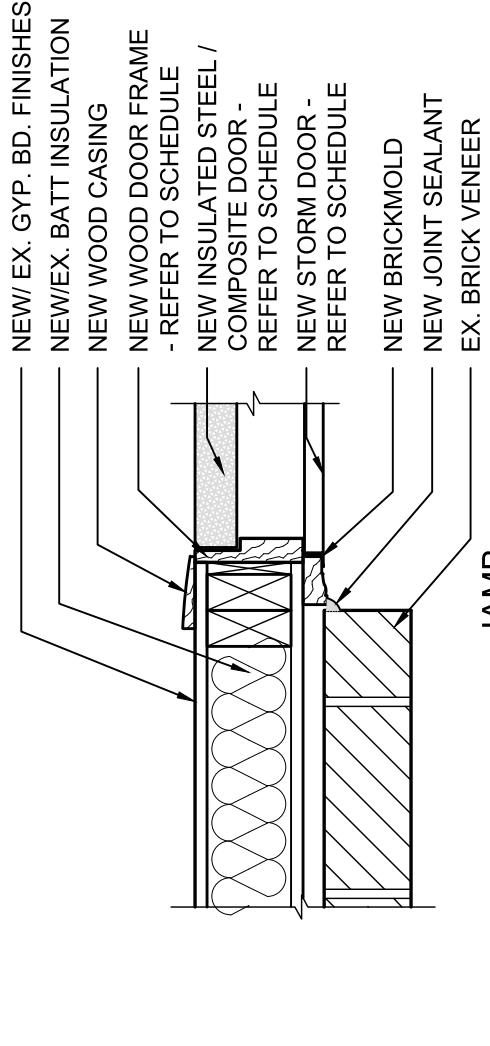
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

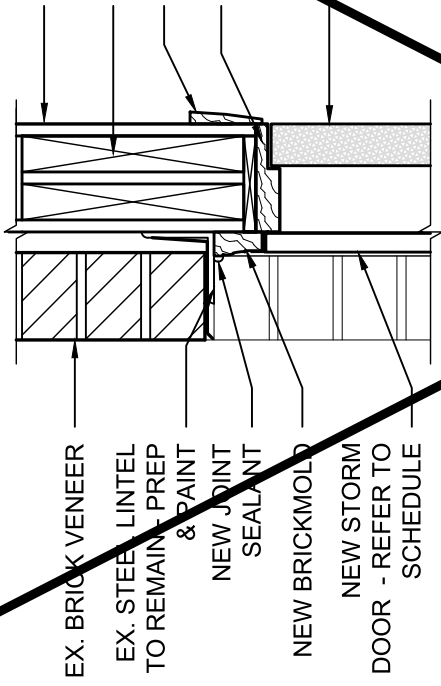
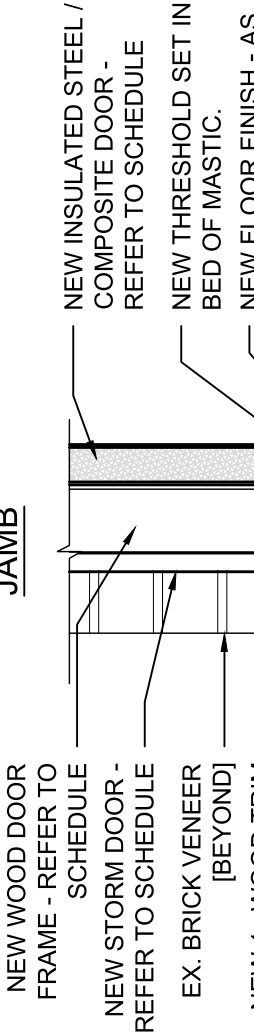
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
DOOR JAMB DIMENSION TO MATCH, TYP.



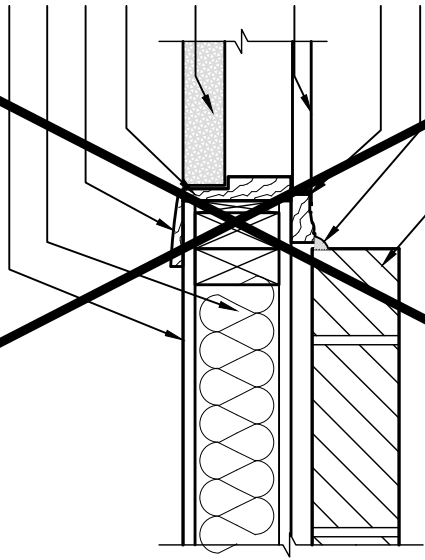
HEAD



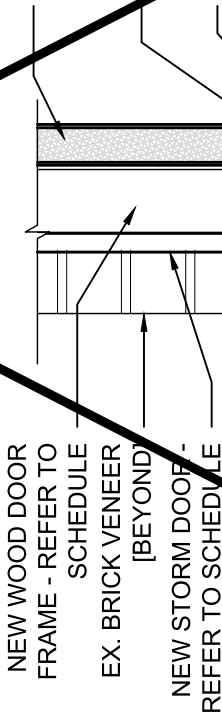
JAMB



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PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY A LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THROUGH AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND PIPETUBES, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB-MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS WHICH ARE DISCOVERED ARE AS SHOWN ON ARCHITECT IMMEDIATELY, BEFORE COMMENCING WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO REVISOR DOCUMENTS SHALL BE ANALYZED AND CORRECTED BY CONTRACTOR IF THEY ARE NOT ACCURATE. PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
    - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
      - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL MATERIALS, NON APPROVALS DUE TO SUCCEEDING WITH THE CONTRACTOR'S RESPONSIBILITY OF INVESTIGATIVE WORK BE REQUIRED IMMEDIATELY, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE REQUIRED IMMEDIATELY.
      - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE REQUIRED IMMEDIATELY.



EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM. SOFFIT,  
TO REMAIN

REMOVE EX., INSTALL  
NEW 5" ALUM. GUTTERS  
& DOWNSPOUTS

REMOVE EX., INSTALL  
NEW VINYL WINDOWS

EX. SHINGLE ROOF  
SYSTEM TO REMAIN

EX. VINYL SIDING TO  
REMAIN - CLEAN /  
PRESSURE WASH

REMOVE EX., INSTALL  
NEW EXTERIOR LIGHT  
FIXTURES

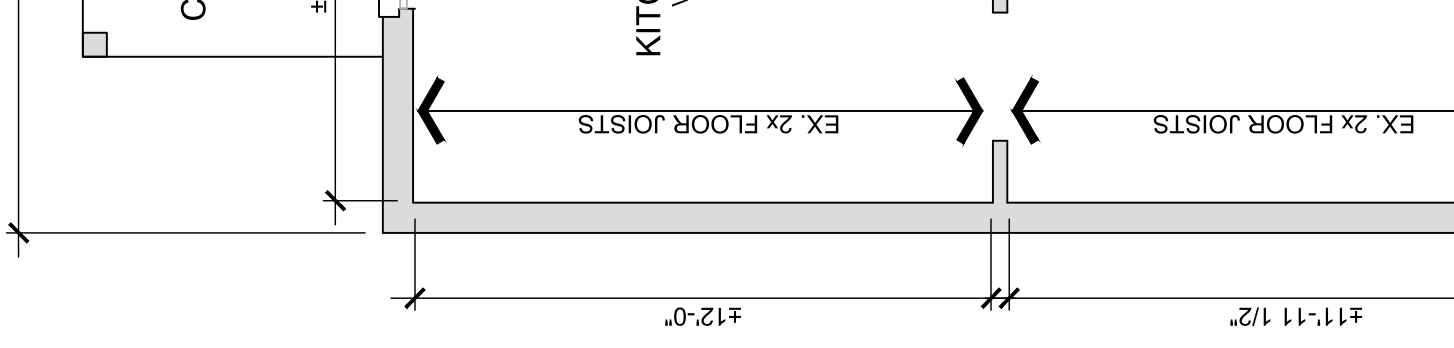
REMOVE EX., INSTALL  
NEW EXTERIOR DOOR  
FRAMES, HARDWARE &  
STORM DOORS.

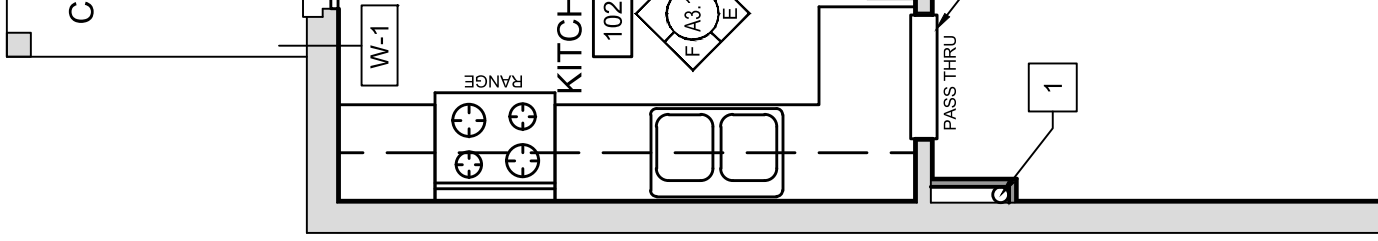
SOUTH ELEVATION

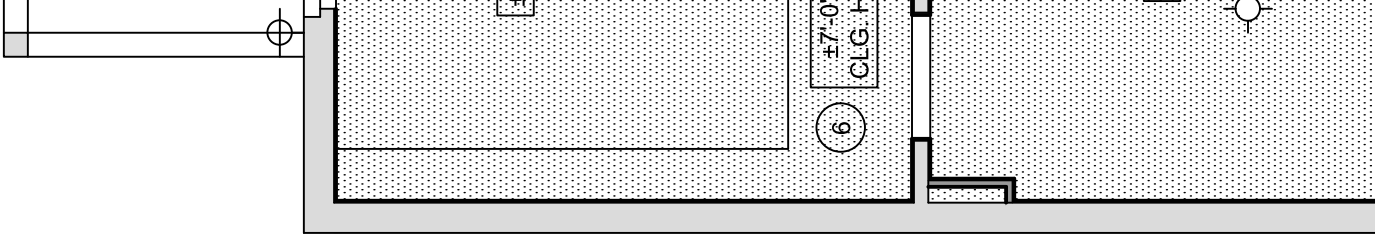


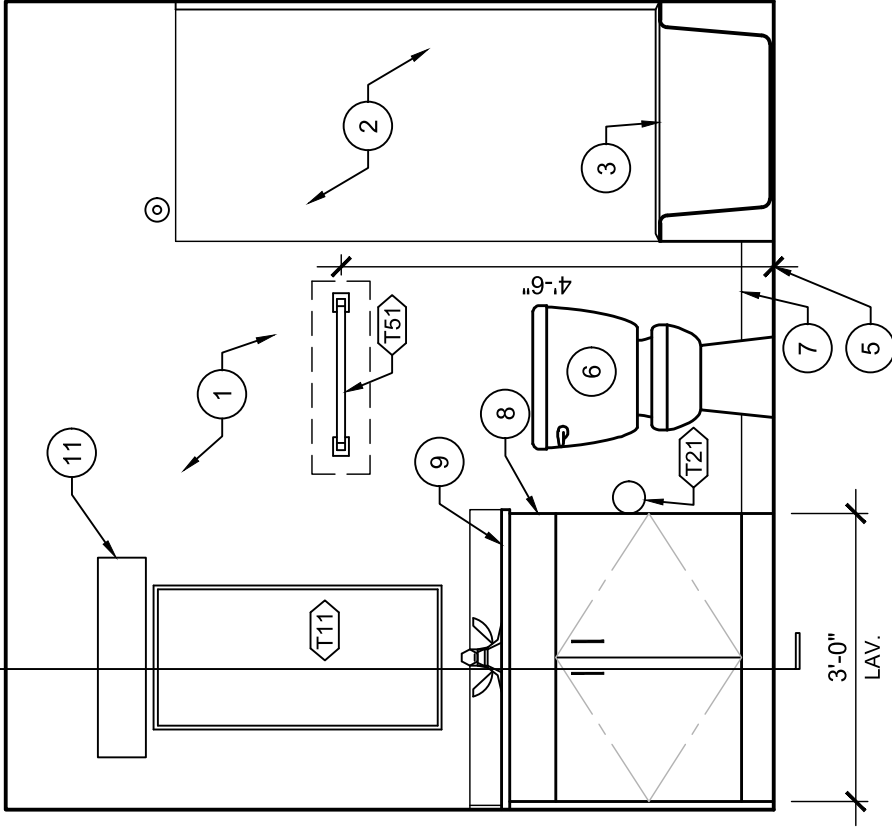
EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM.  
SOFFIT, TO REMAIN

EX. VINYL SIDING TO

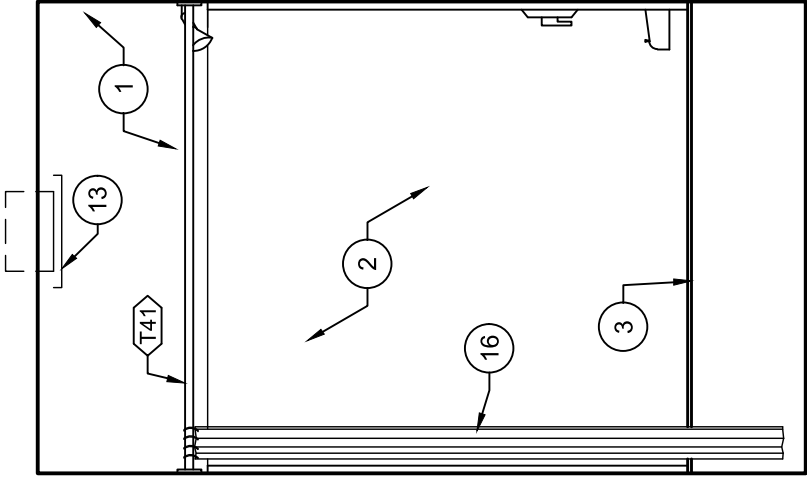








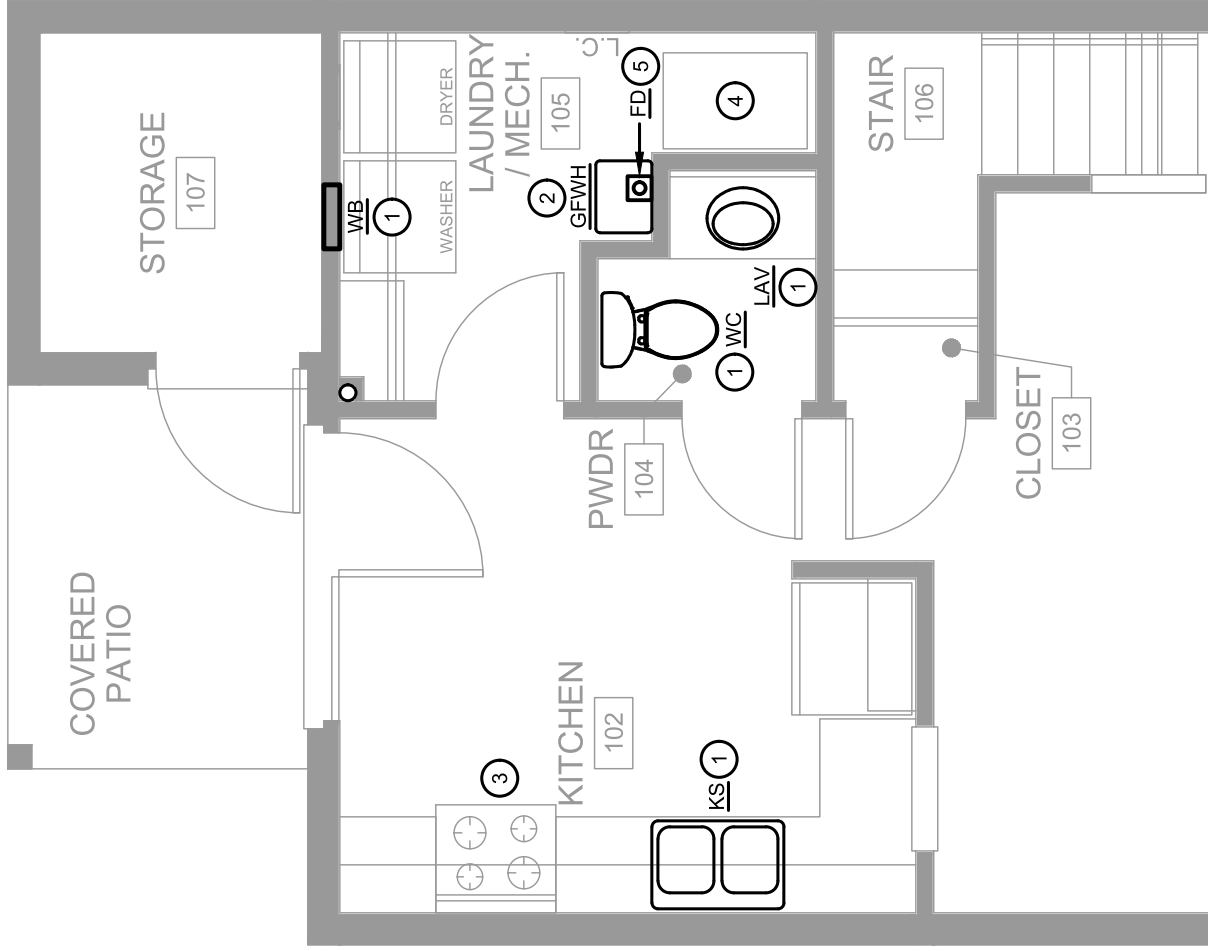
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B

# INTERIOR ELEVATIONS AT BATH 205

SCALE: 1/2" = 1'-0"

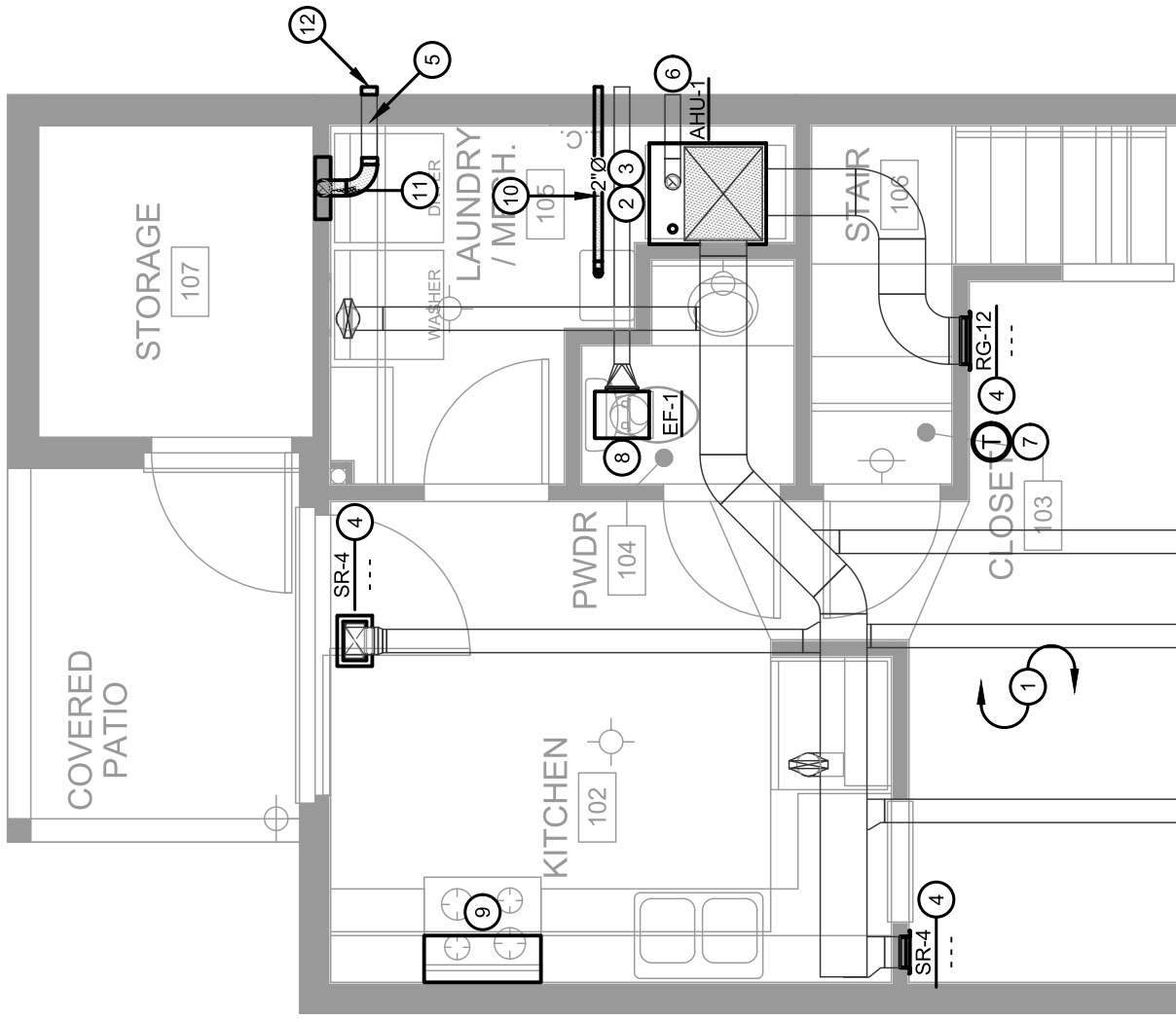


CLOSET

202

CLOSET

207

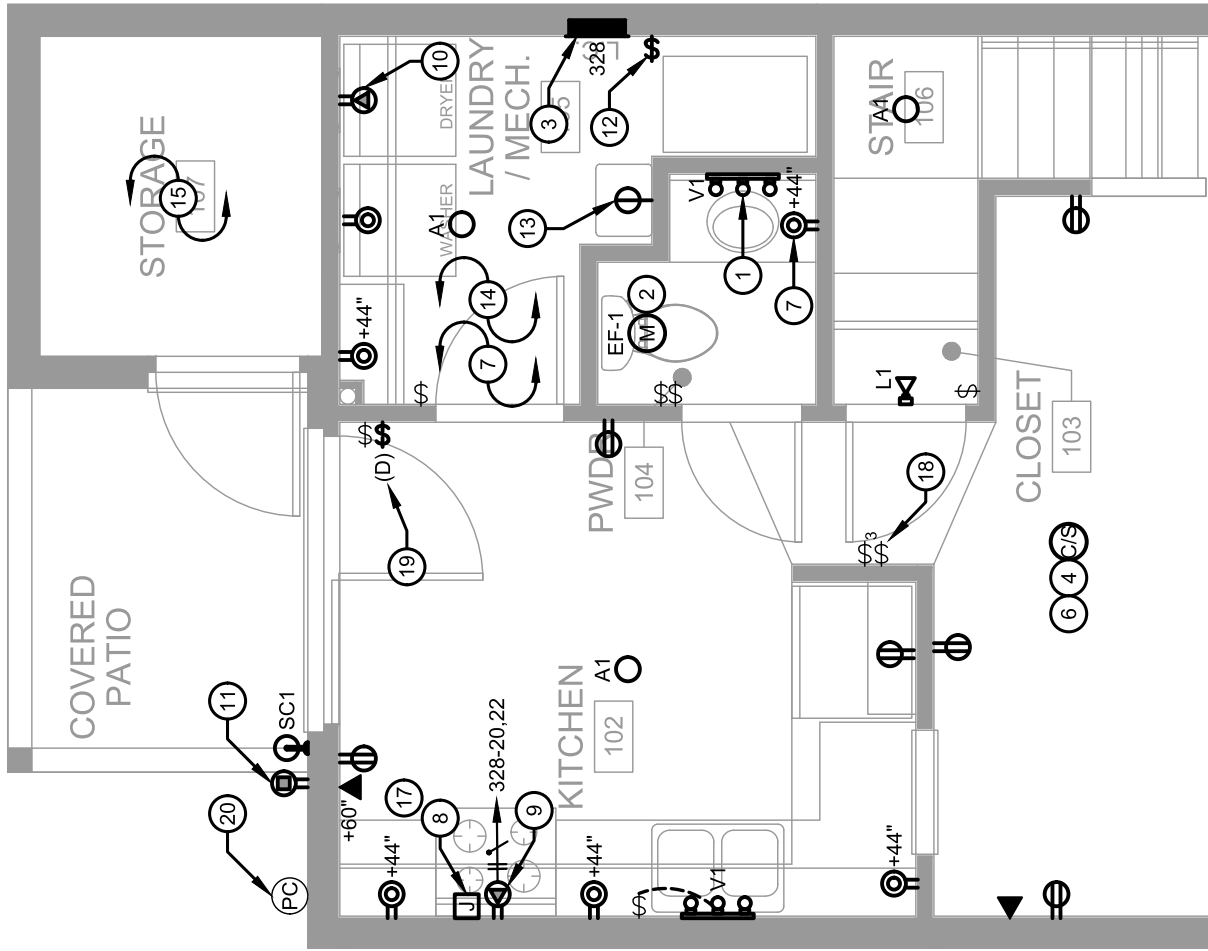


CLOSET

202

CLOSET

207



CLOSET

202

CLOSET

207

Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	30	2
3		
5	20	1
7	15	1
9	15	1
11	15	1
13	15	1
15	15	1
17	20	1
19	15	1
21	20	1

# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS: ENVIRONMENTAL CONSULTANT:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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## SHEET INDEX

2122 MORGAN ST. [SITE 08]

08-G1.1	PROJECT INFORMATION
08-G1.2	SCHEDULES
08-G1.3	TYPICAL DETAILS
08-G1.4	TYPICAL DETAILS
08-G1.5	GENERAL PROJECT NOTES
08-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
08-D1.1	EXISTING / DEMOLITION FLOOR PLANS
08-A1.1	PROPOSED FLOOR PLANS
08-A1.2	REFLECTED CEILING PLANS
08-A3.1	INTERIOR ELEVATIONS
08-P1.1	PLUMBING PLAN
08-M1.1	MECHANICAL PLAN
08-E1.1	ELECTRICAL PLAN
08-E5.1	ELECTRICAL SCHEDULES & NOTES

# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	KITCHEN	F-1	B-1	W-1	C-1	-
103	MECHANICAL	F-1	B-1	W-1	C-1	-
103A	PANTRY	F-1	B-1	W-1	C-1	-
104	CLOSET	F-1	B-1	W-1	C-1	-
105	BATH	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	LAUNDRY	F-1	B-1	W-1	C-1	-
108	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
200	HALL	F-1	B-1	W-1	C-1	-
201	BEDROOM 1	F-1	B-1	W-1	C-1	-
202	CLOSET	F-1	B-1	W-1	C-1	-
203	BEDROOM 2	F-1	B-1	W-1	C-1	-
204	CLOSET	F-1	B-1	W-1	C-1	-
205	BEDROOM 3	F-1	B-1	W-1	C-1	-
206	CLOSET	F-1	B-1	W-1	C-1	-
207	LINEN	F-1	B-1	W-1	C-1	-
208	BEDROOM 4	F-1	B-1	W-1	C-1	-
209	CLOSET	F-1	B-1	W-1	C-1	-
210	BATH	F-1	B-1	W-1	C-1	-
211	LINEN	F-1	B-1	W-1	C-1	-
212	BEDROOM 5	F-1	B-1	W-1	C-1	-
213	CLOSET	F-1	B-1	W-1	C-1	-

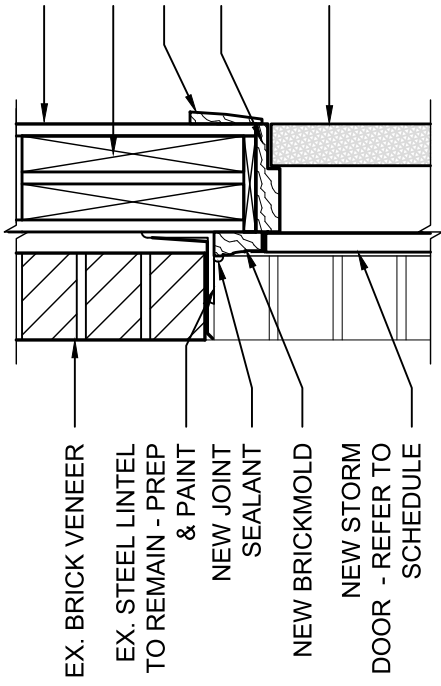
**REMARKS:**

1. PAINT ALL NON-PRE-FINISHED SURFACES

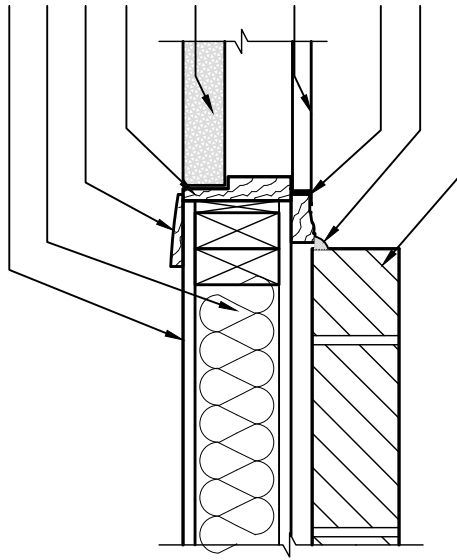
**GENERAL NOTES:**

- a. FLOORING CONTRACTOR SHALL CONFIRM ALL TRANSITIONS BETWEEN ROOMS, CORRIDORS, ROLL IN SHOWERS, ETC.

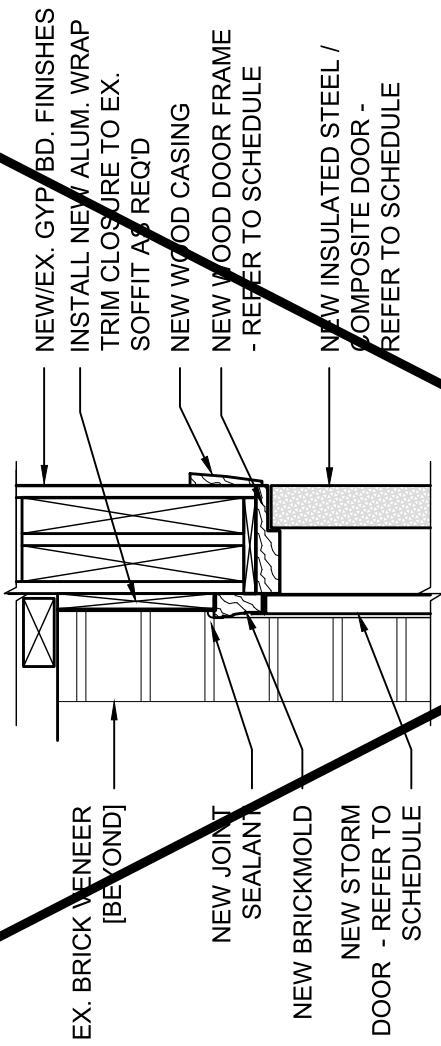
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



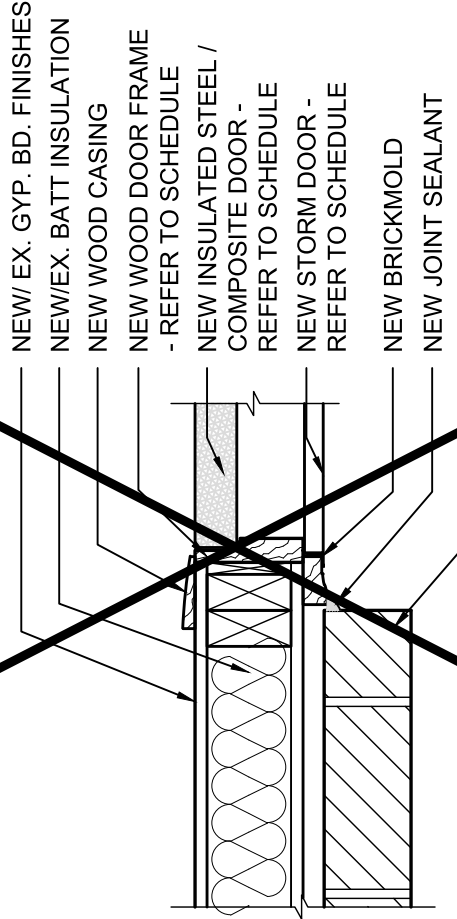
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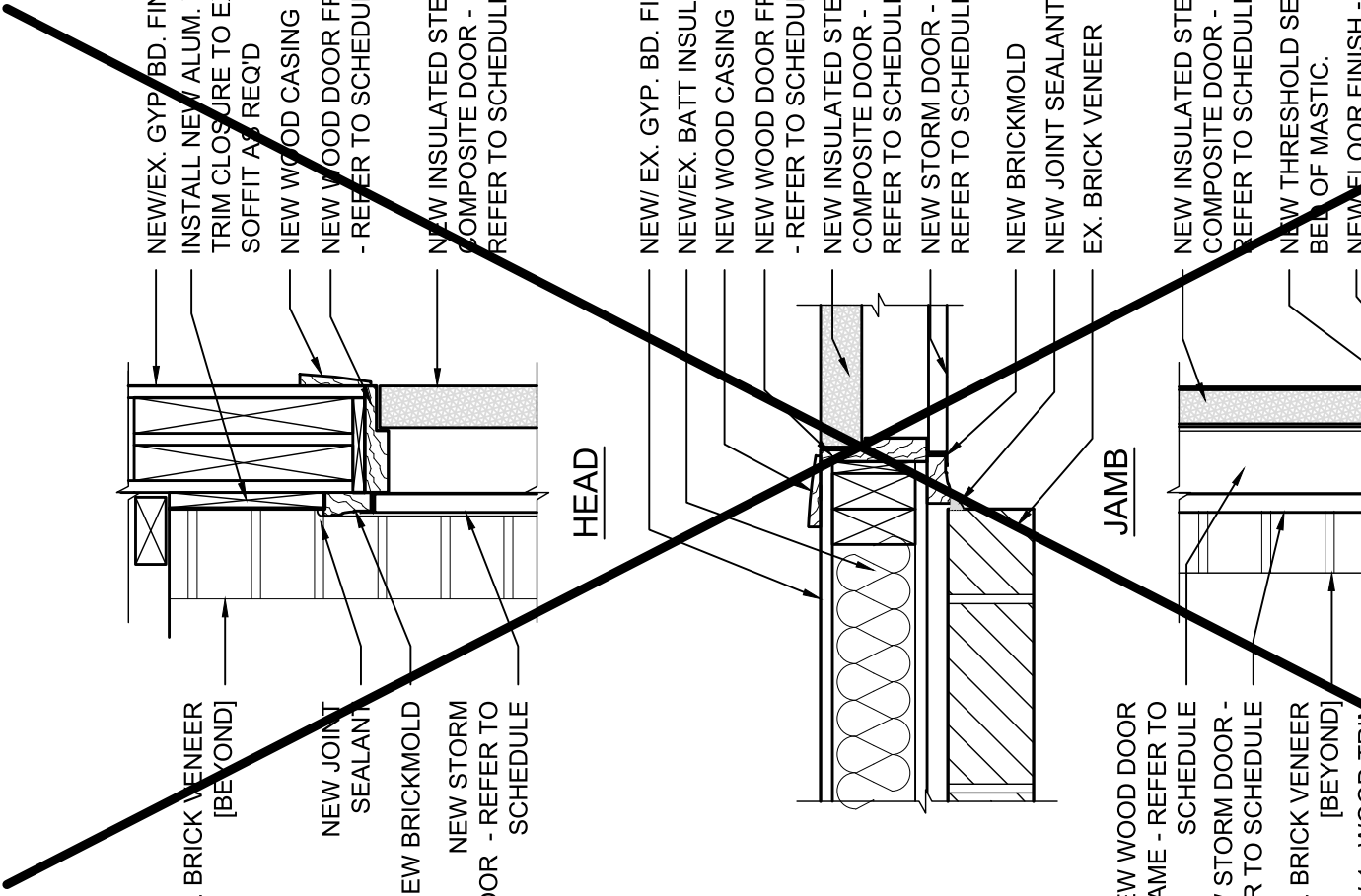
JAMB



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JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

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7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
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11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
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## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

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- 1.1. TRASH / DEBRIS:
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- 1.2. CONSTRUCTION SAFETY:
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  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT OR JOB CONDITIONS (INCLUDING PERMITS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL CONSTRUCTION, MATERIALS, AND METHODS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
    - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
      - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT, IF ANY QUESTIONS OR DISCREPANCIES ARE IDENTIFIED. CONSULTANTS, OR REGULATORY AGENCIES, SHALL BE NOTIFIED OF ANY VALID AND ANY CHANGES IN APPROVALS DUE TO SUCH CHANGES. CONTRACTOR'S RESPONSIBILITY IS TO VERIFY ALL INVESTIGATIVE WORK BE REQUIRED TO VERIFY ALL CONDITIONS, THE CONTRACT DOCUMENTS, IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK.

EX. SHINGLE  
ROOF SYSTEM  
TO REMAIN

EX. ALUM. WRAP  
RAKE/FASCIA,  
VENTED ALUM.  
SOFFIT,  
GUTTERS & D.S.  
TO REMAIN

EX. VINYL SIDING  
TO REMAIN -  
CLEAN /  
PRESSURE  
WASH

REMOVE EX.,  
INSTALL NEW  
EXTERIOR LIGHT  
FIXTURES

EX. ADDRESS  
SIGNAGE TO  
REMAIN

REMOVE EX.,  
INSTALL NEW  
EXTERIOR  
DOORS, FRAMES,  
HARDWARE &  
STORM DOORS.

REPAIR EX.  
VINYL SIDING  
THIS AREA

REMOVE EX.,  
INSTALL NEW  
VINYL WINDOWS

EX. BRICK  
VENEER TO  
REMAIN - CLEAN  
/ PRESSURE  
WASH

EX. CONC. WALK  
TO REMAIN -  
CLEAN /  
PRESSURE  
WASH



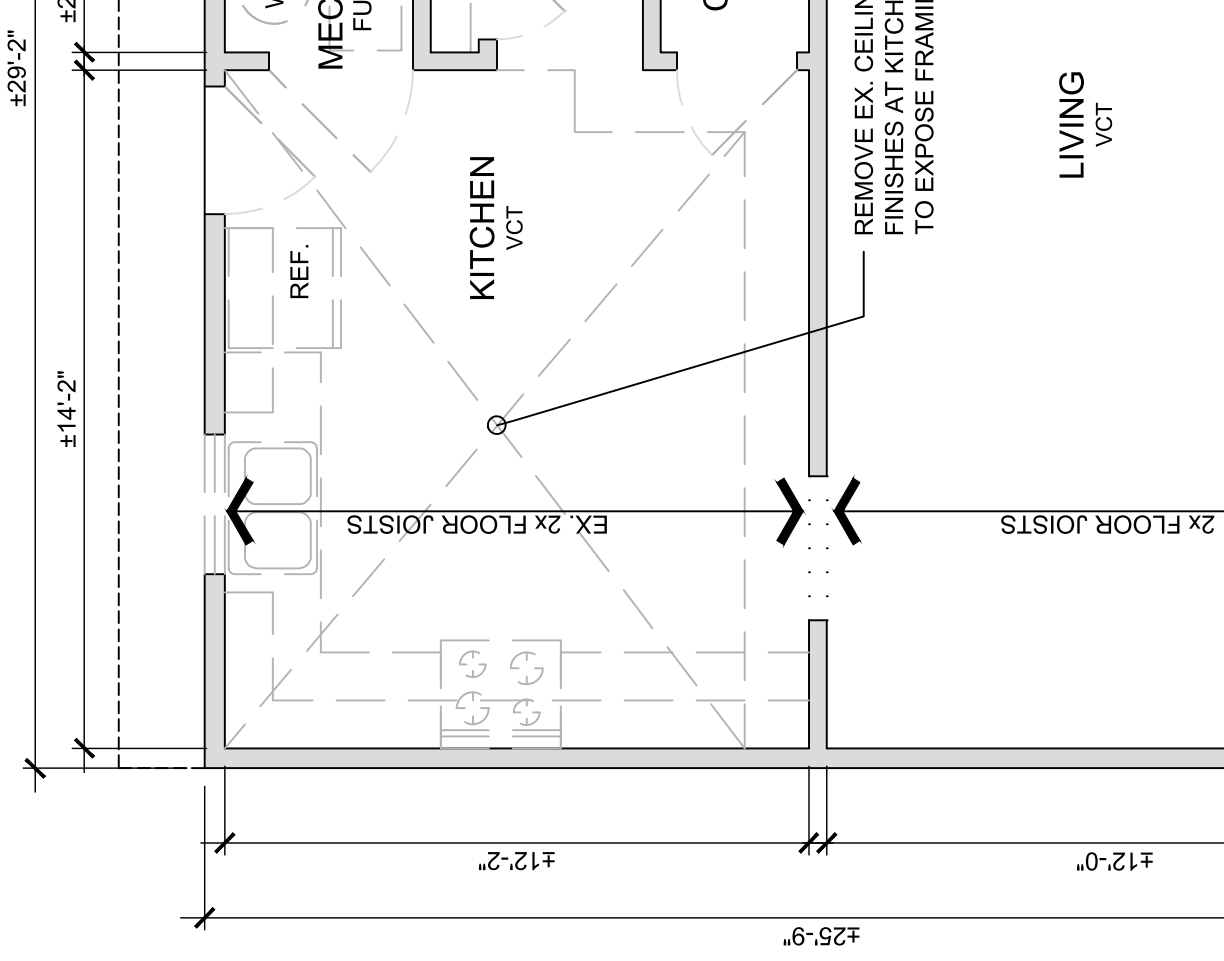
SOUTH ELEVATION

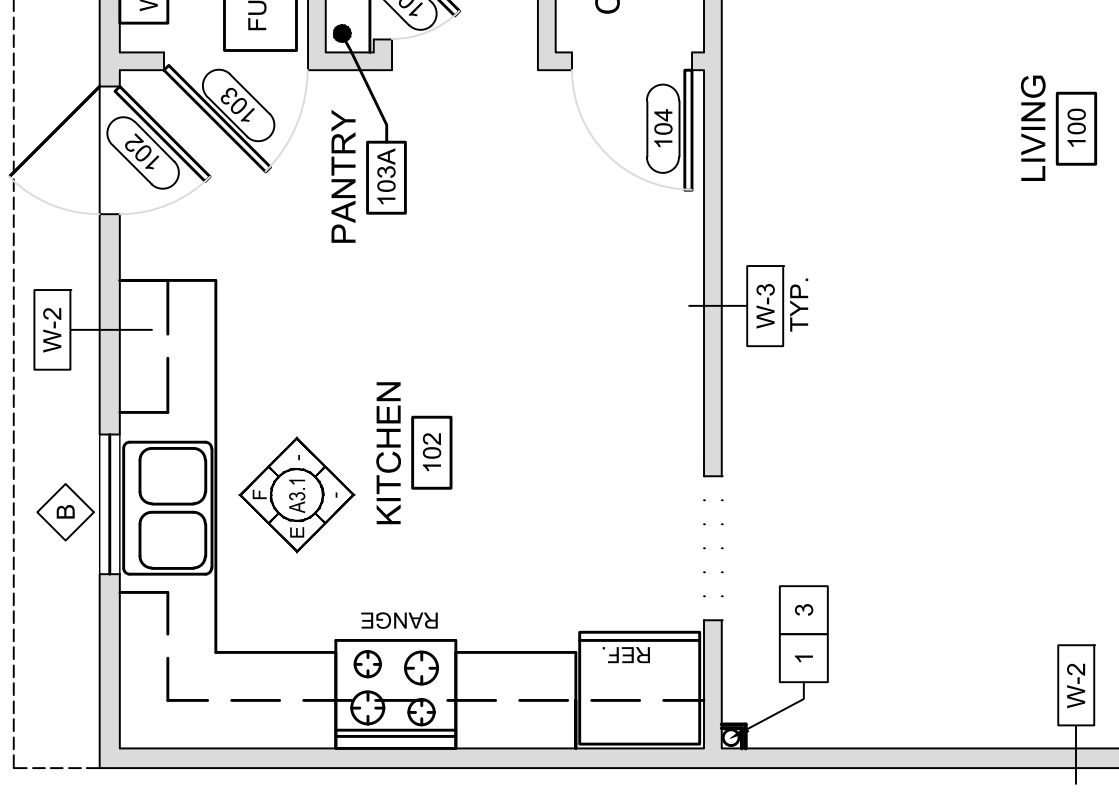
NORTH

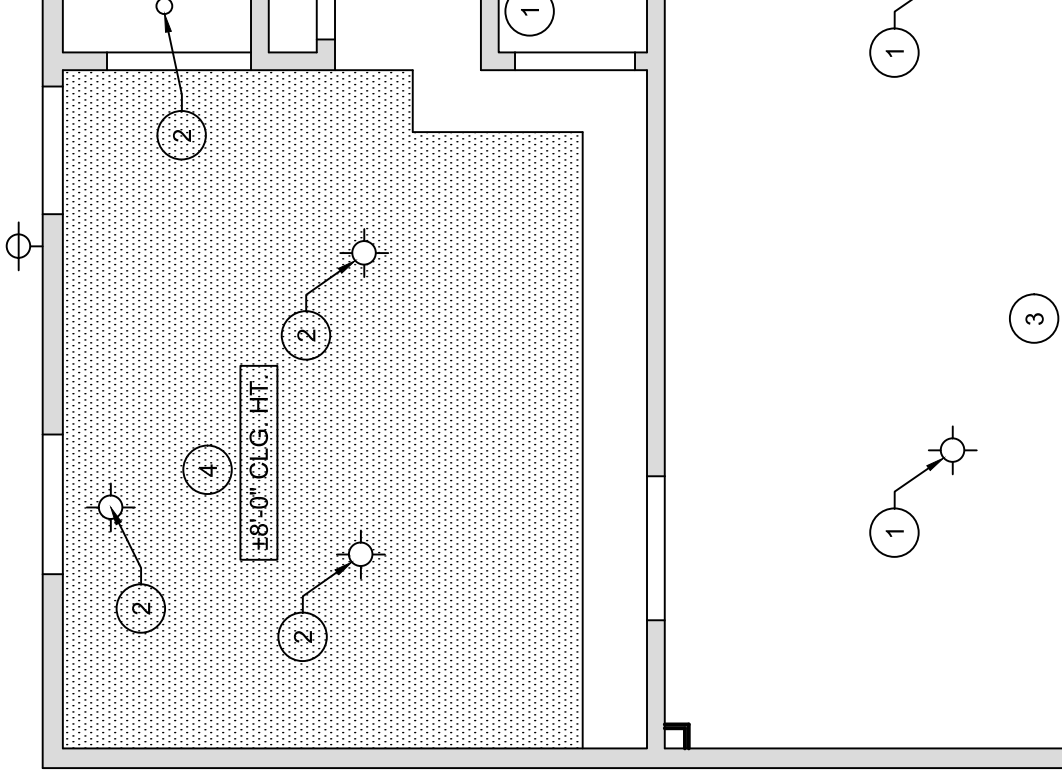
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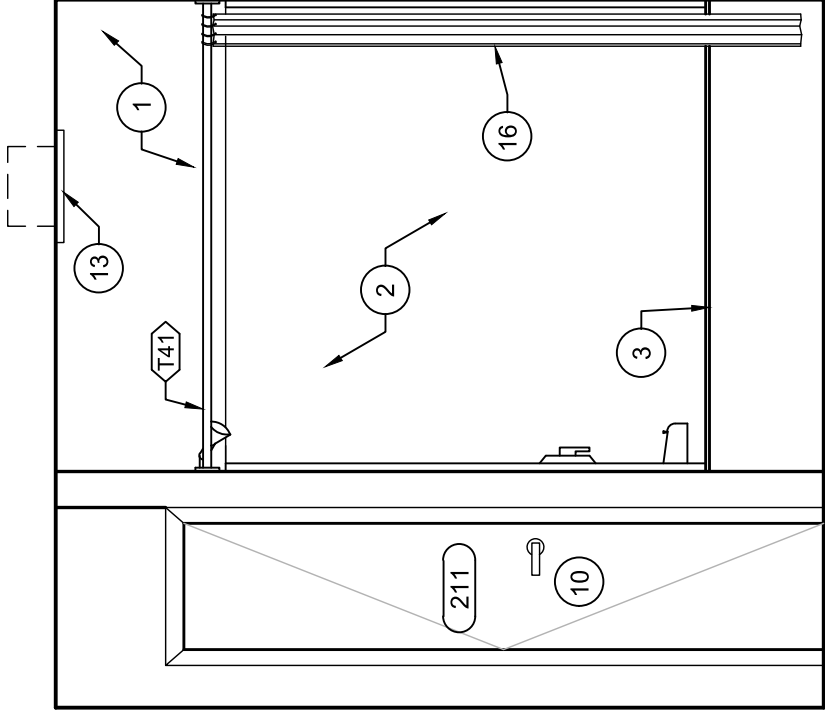
# EXTERIOR REFERENCE PHOTOS

SCALE: N.T.S.

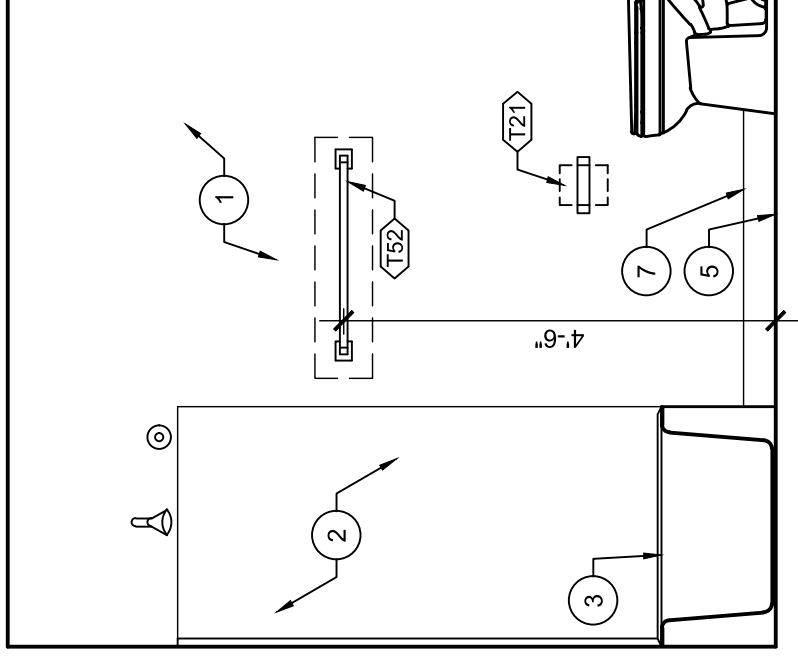








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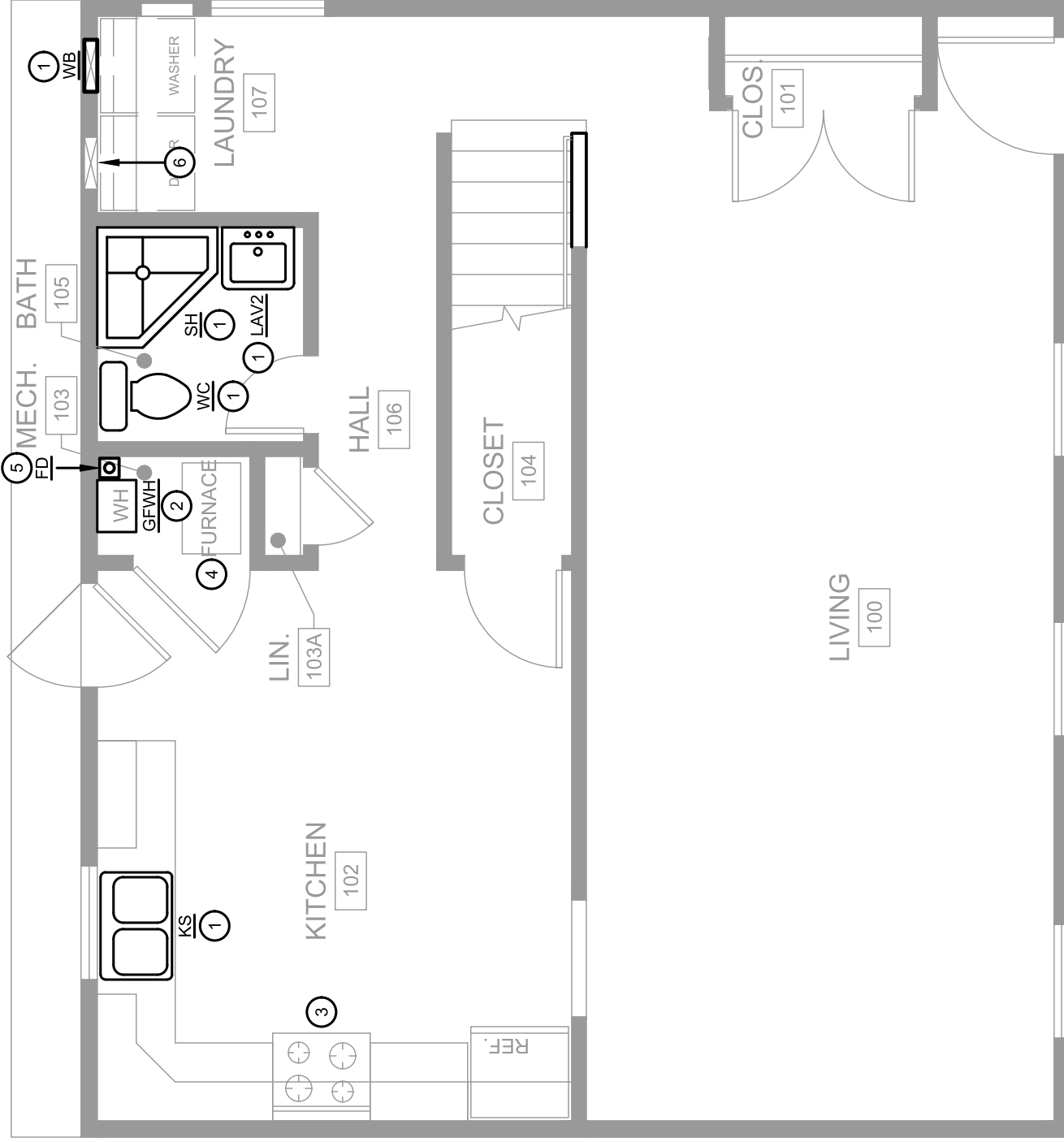


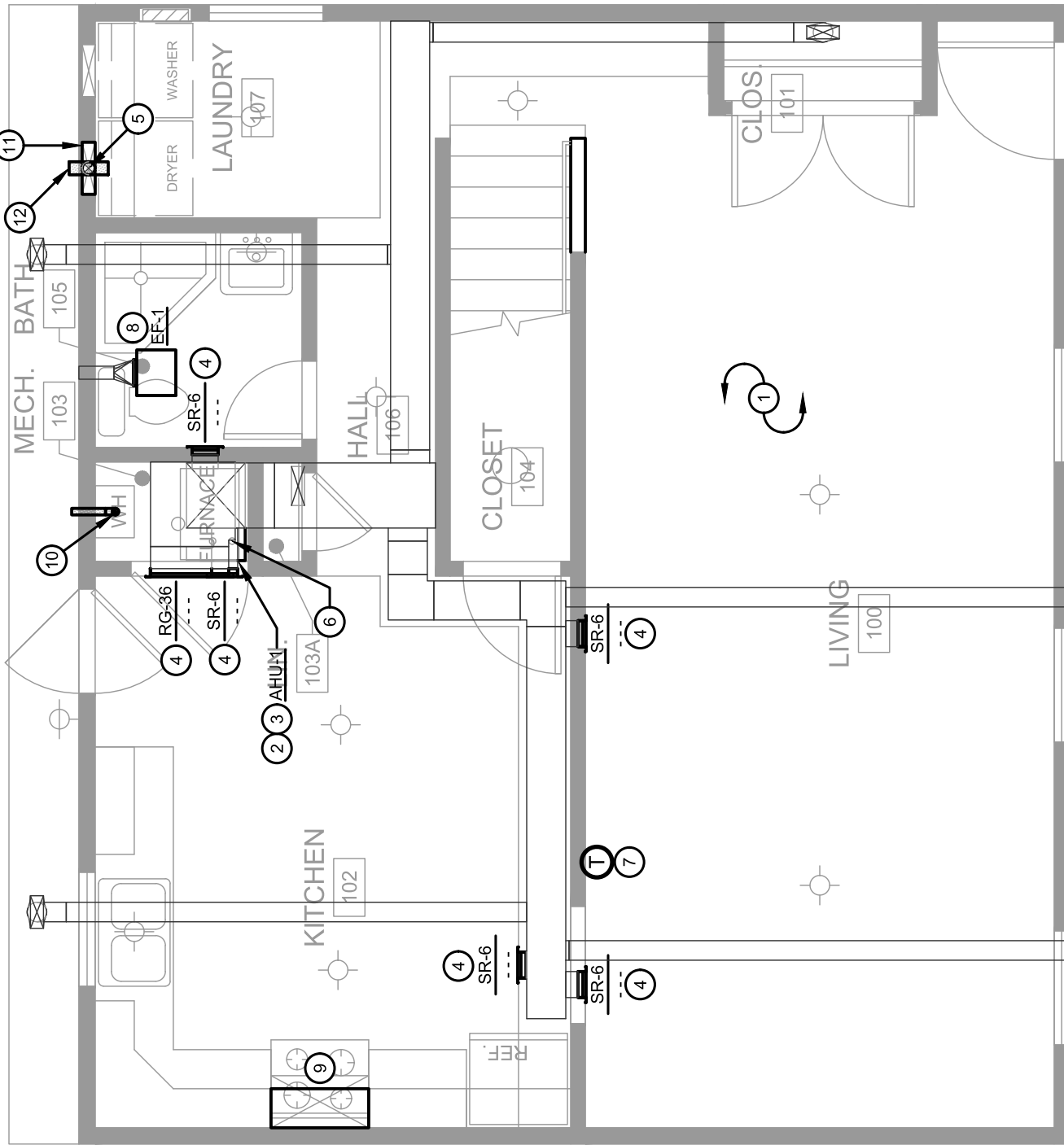
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# INTERIOR ELEVATIONS AT BATH 210

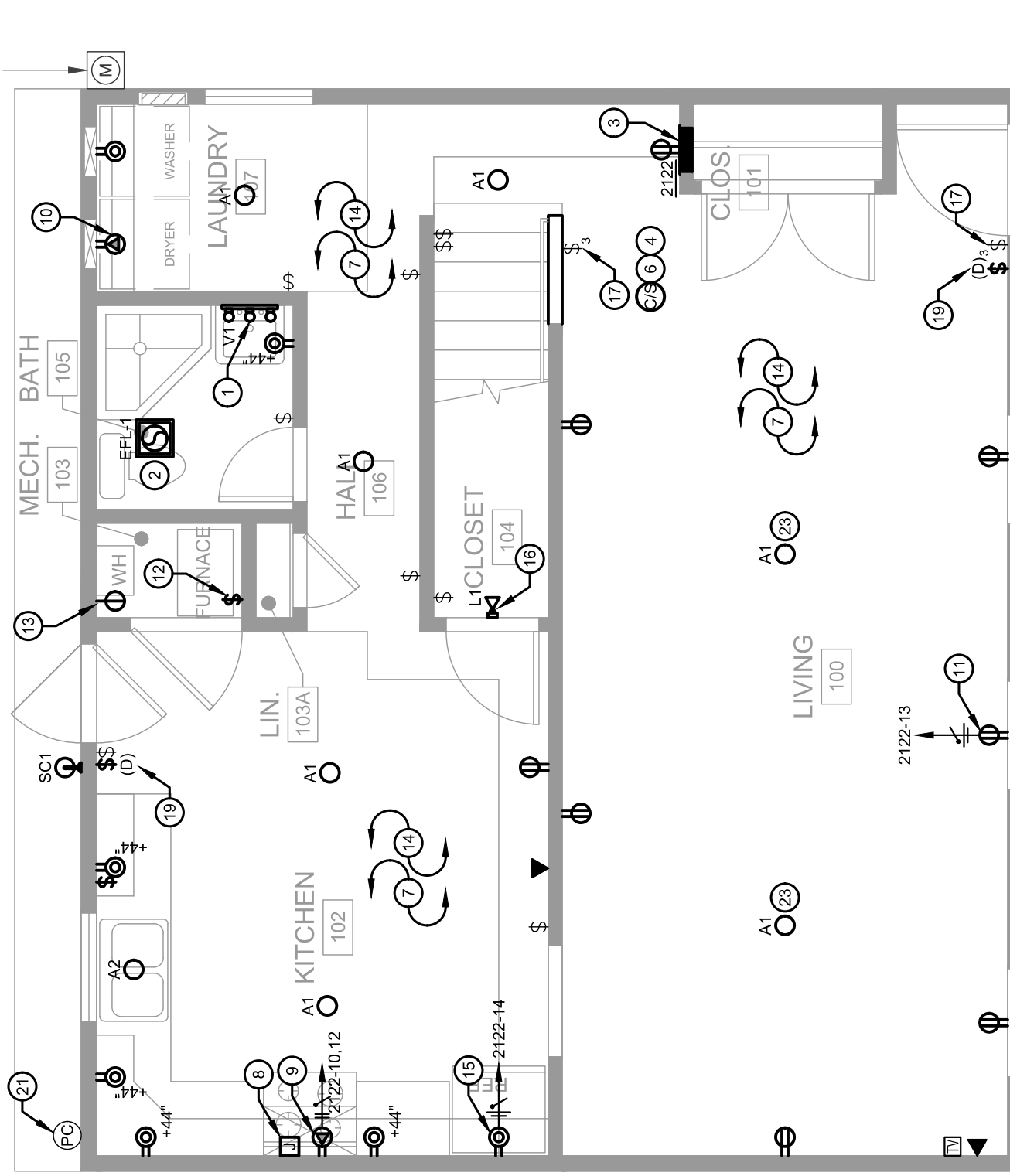
SCALE: 1/2" = 1'-0"







EXISTING METER



Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	30	2
3		
5	20	1
7	15	1
9	15	1
11	15	1
13	20	1
15	20	1
17	20	1
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>

# Scatter Springf

---

## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206

### ENVIRONMENTAL CONSULTANT:



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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## SHEET INDEX

2130 GREENBRIER DR. [SITE 09]

09-G1.1 PROJECT INFORMATION

09-G1.2 SCHEDULES

09-G1.3 TYPICAL DETAILS

09-G1.4 TYPICAL DETAILS

09-G1.5 GENERAL PROJECT NOTES

09-C1.1 ARCHITECTURAL SITE PLAN / EXTERIOR

09-D1.1 EXISTING / DEMOLITION FLOOR PLANS

09-A1.1 PROPOSED FLOOR PLANS

09-A1.2 REFLECTED CEILING PLANS

09-A3.1 INTERIOR ELEVATIONS

09-P1.1 PLUMBING PLAN

09-M1.1 MECHANICAL PLAN

09-E1.1 ELECTRICAL PLAN

09-E5.1 ELECTRICAL SCHEDULES & NOTES

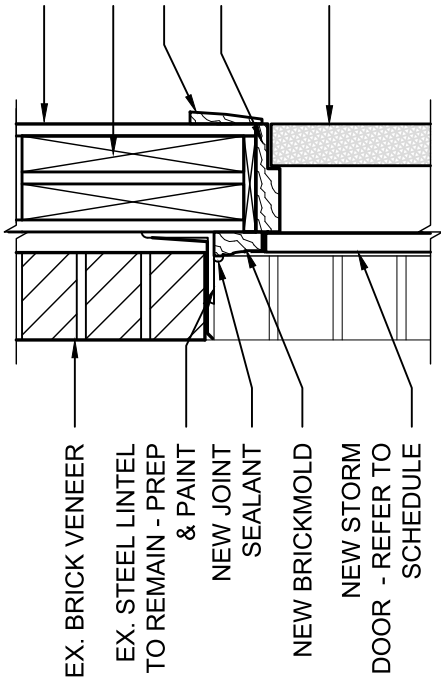
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	FOYER	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	LIVING	F-1	B-1	W-1	C-1	-
103	KITCHEN	F-1	B-1	W-1	C-1	-
104	STORAGE	EX.	B-1	W-1	C-1	-
105	MECHANICAL	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	BATH	F-1	B-1	W-1	C-1	-
108	BEDROOM 1	F-1	B-1	W-1	C-1	-
109	CLOSET	F-1	B-1	W-1	C-1	-
110	BEDROOM 2	F-1	B-1	W-1	C-1	-
111	CLOSET	F-1	B-1	W-1	C-1	-
112	LINEN	F-1	B-1	W-1	C-1	-
113	LAUNDRY	F-1	B-1	W-1	C-1	-

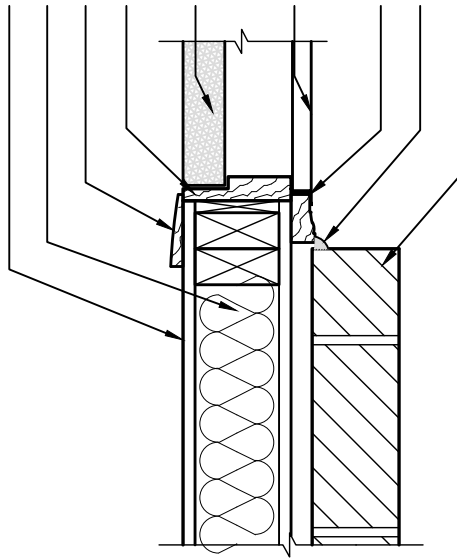
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

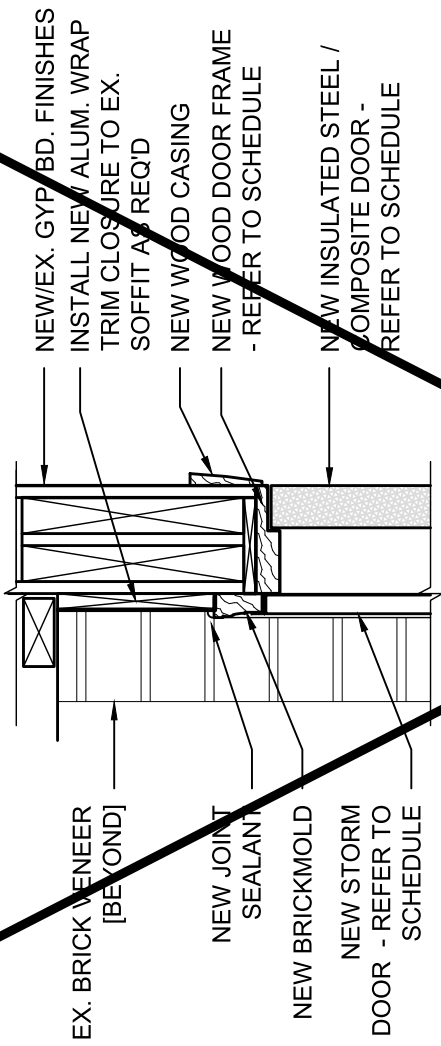
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



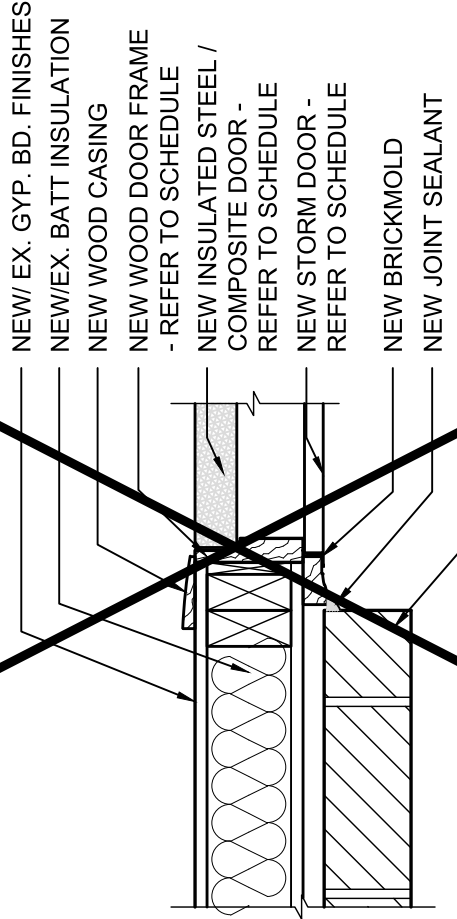
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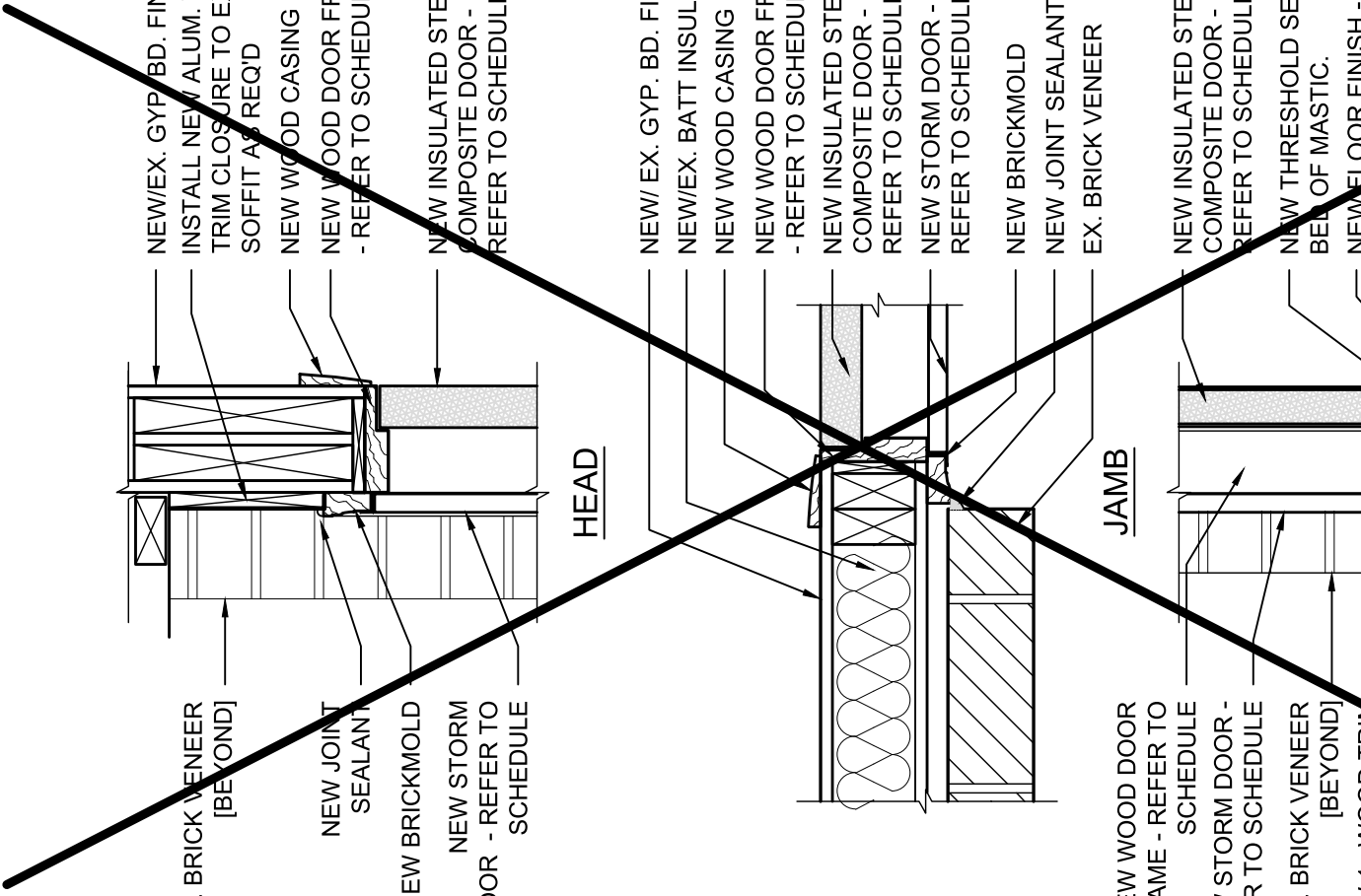
JAMB



HEAD



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY A LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THROUGH AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND PIPETUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB-MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS WHICH ARE DISCOVERED ARE IN ACCORDANCE WITH ARCHITECT IMMEDIATELY, BEFORE COMMENCING WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO TAKE ACTION. DOCUMENTS SHALL BE ANALYZED AND CORRECTED PRIOR TO CONTRACTOR IF THEY ARE NOT IN ACCORDANCE WITH WORK. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL DIMENSIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE WORK OF THIS PROJECT.
    - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE WORK OF THIS PROJECT. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS WHICH ARE DISCOVERED ARE IN ACCORDANCE WITH ARCHITECT IMMEDIATELY, BEFORE COMMENCING WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO TAKE ACTION. DOCUMENTS SHALL BE ANALYZED AND CORRECTED PRIOR TO CONTRACTOR IF THEY ARE NOT IN ACCORDANCE WITH WORK. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL DIMENSIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE WORK OF THIS PROJECT.
      - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF WEAR, DAMAGE, OR ANY OTHER DEFECTS, SHALL BE REPAIR OR REPLACED PRIOR TO COMMENCING WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE WORK OF THIS PROJECT.



EX. SHINGLE ROOF SYSTEM TO REMAIN  
 REMOVE EX., INSTALL NEW ADDRESS NUMBERS

PREP & PAINT EX. STEEL HANDRAIL

REMOVE EX., INSTALL NEW VINYL WINDOWS

EX. ASPHALT PARKING AREA TO REMAIN

REMOVE EX. VERTICAL SIDING, INSTALL NEW VINYL LAP SIDING AT GABLE ENDS (INSTALL NEW BLOCKING AT GABLE ENDS)

EX. GUTTER DOWNSPOUTS TO REMOVE / REINSTALL REQ'D BY WO

REMOVE EX., INSTALL NEW ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT

PREP & PAINT EX. STEEL GUARDRAIL - SEAL BOTTOM OF GUARDRAIL AT CONCRETE

SOUTH ELEVATION



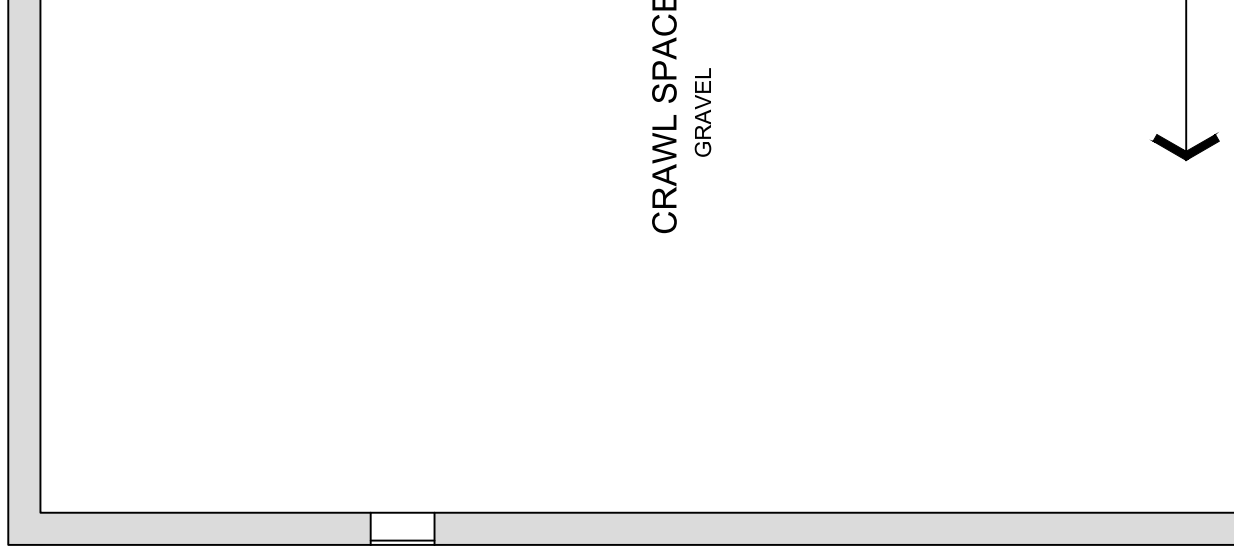
EX. SHINGLE ROOF SYSTEM TO REMAIN

REMOVE EX., INSTALL NEW ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT

REMOVE EX. VERTICAL SIDING, INSTALL NEW VINYL LAP SIDING AT GABLE ENDS

EX. GUTTERS & DOWNSPOUTS TO REMOVE

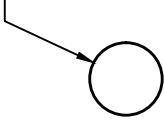
CRAWL SPACE  
GRAVEL



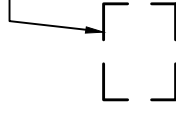
EQUAL

EXTEND / CANTILEVER  
BEAM TO FOUNDATION  
WALL

NEW SUMP PUMP  
& PIT - REFER TO  
PME DWGS.



EX. CRAWL SPACE  
ACCESS, ABOVE.



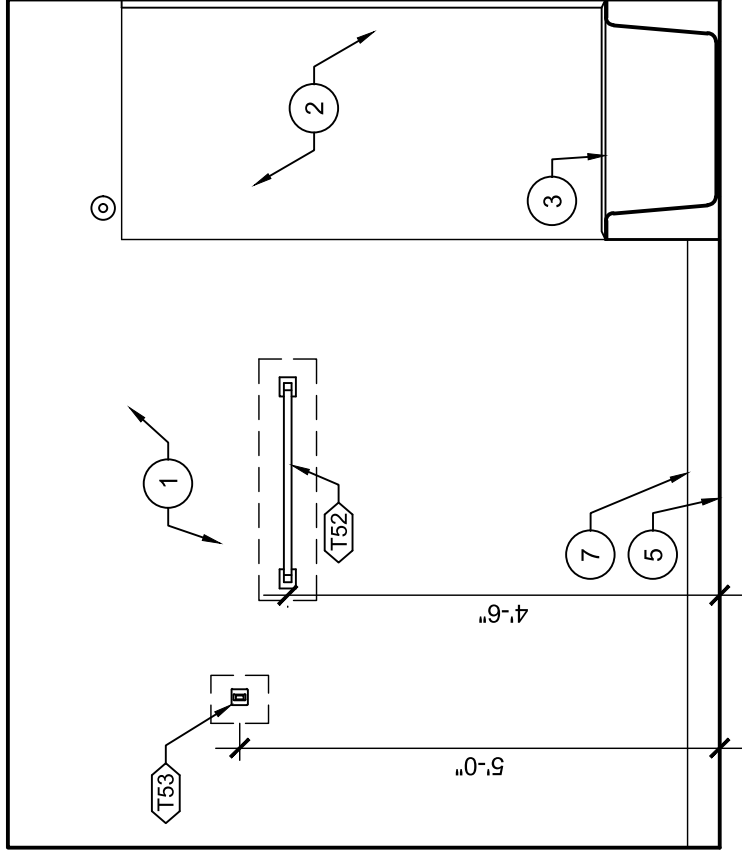
NEW 3"Ø x 11 GA. STEEL  
STUB COLUMN ON 24"Ø x  
8" DP CONCRETE  
FOOTING, TYP.



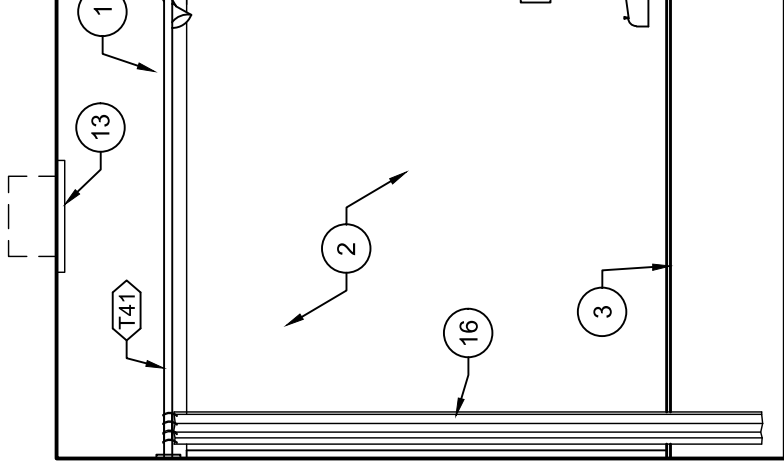
NEW RADON  
MITIGATION  
SYSTEM PIPING

[3] 2x10 BEAM W/  
STAGGERED JOINTS





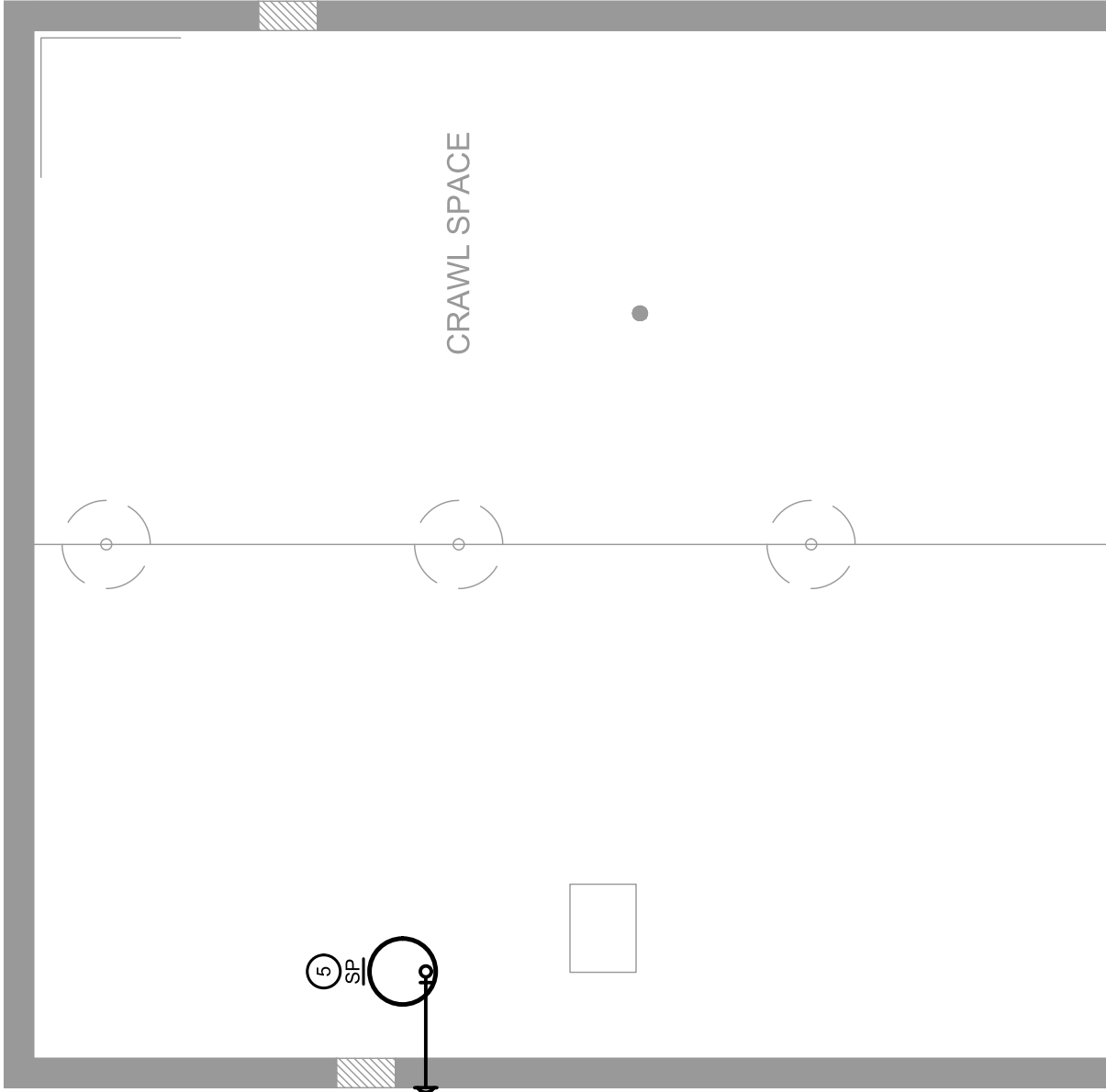
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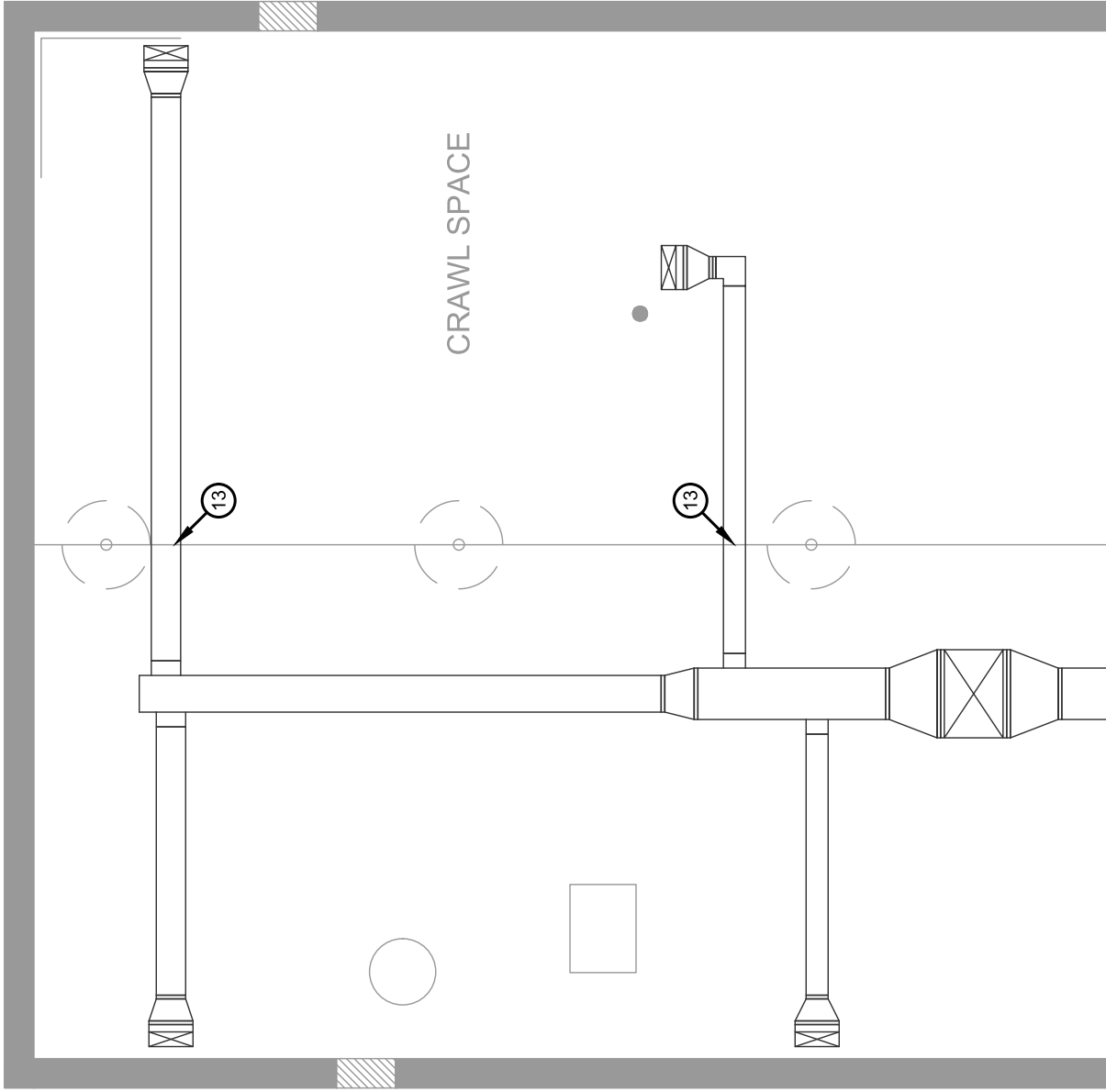


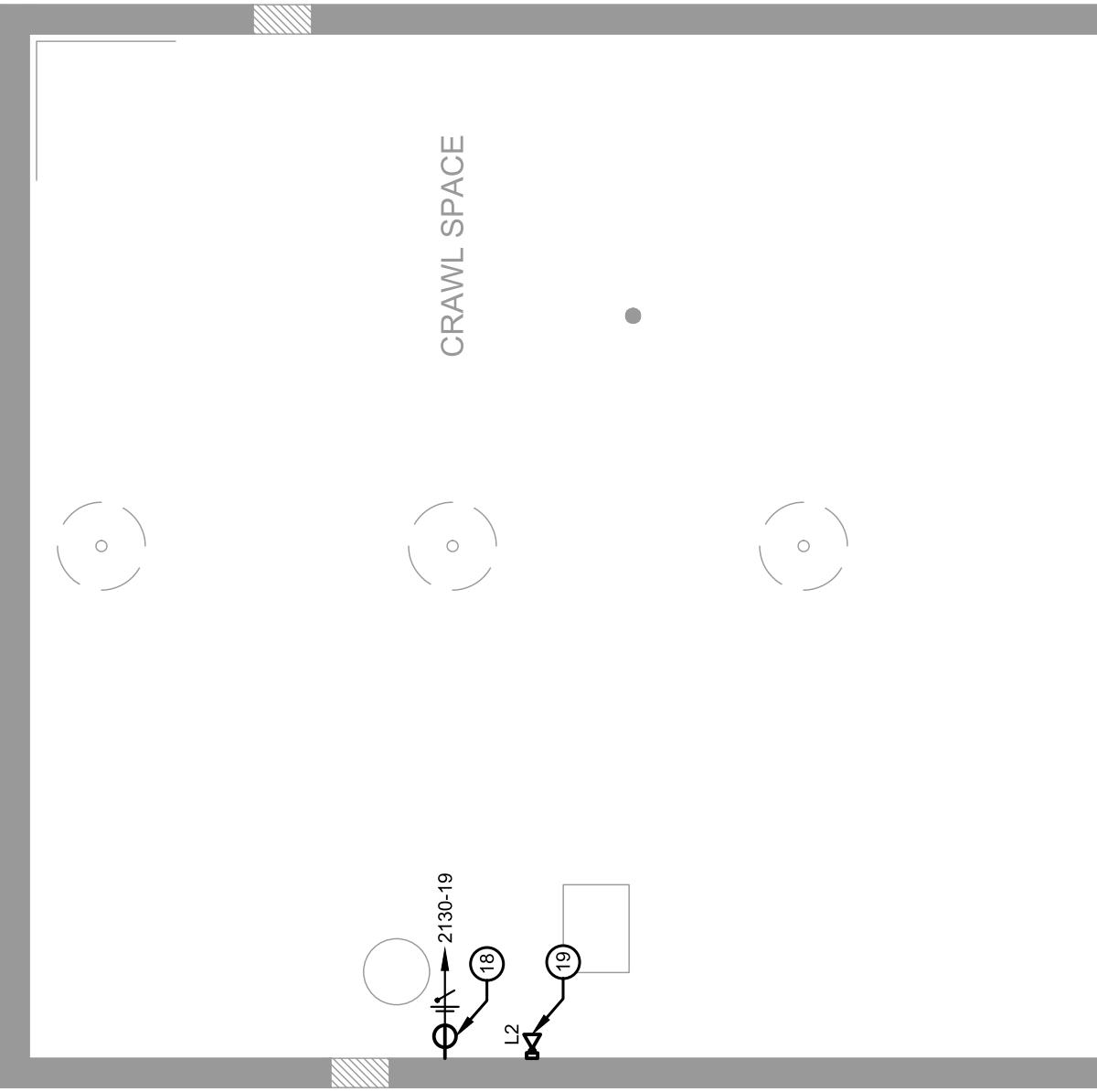
B

# INTERIOR ELEVATIONS AT BATH 205

SCALE: 1/2" = 1'-0"







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	15	1
3	15	1
5	15	1
7	15	1
9	30	2
11		
13	15	1
15	15	1

# Scatter Springf

---

## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

## SHEET INDEX

2627 LAGONDA AVE. [SITE 10]

10-G1.1	PROJECT INFORMATION
10-G1.2	SCHEDULES
10-G1.3	TYPICAL DETAILS
10-G1.4	TYPICAL DETAILS
10-G1.5	GENERAL PROJECT NOTES
10-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
10-D1.1	EXISTING / DEMOLITION FLOOR PLANS
10-A1.1	PROPOSED FLOOR PLANS
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10-E1.1	ELECTRICAL PLAN
10-E5.1	ELECTRICAL SCHEDULES & NOTES

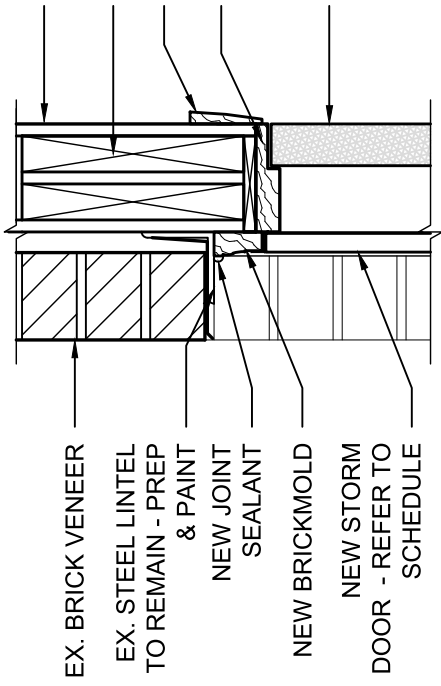
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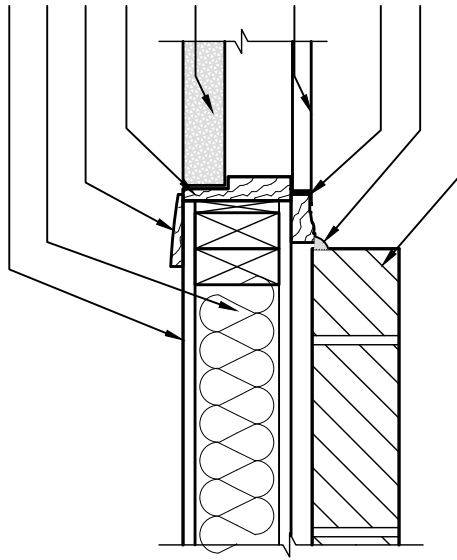
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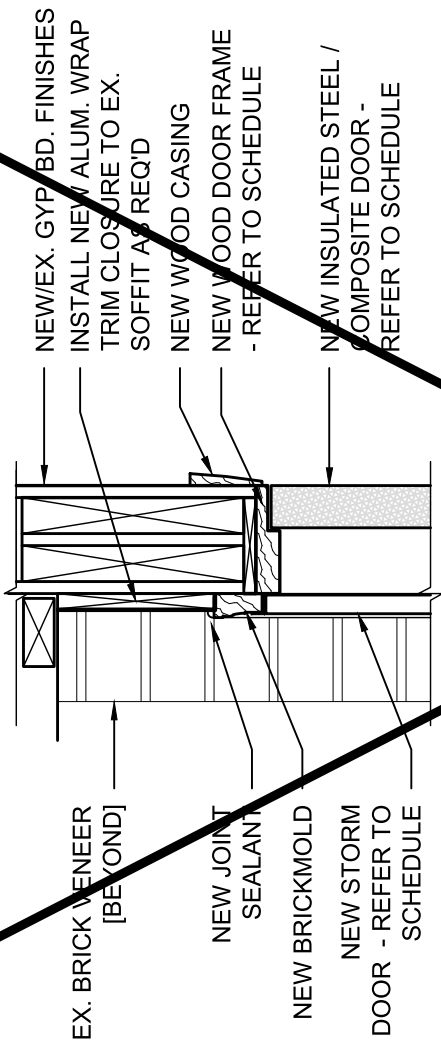
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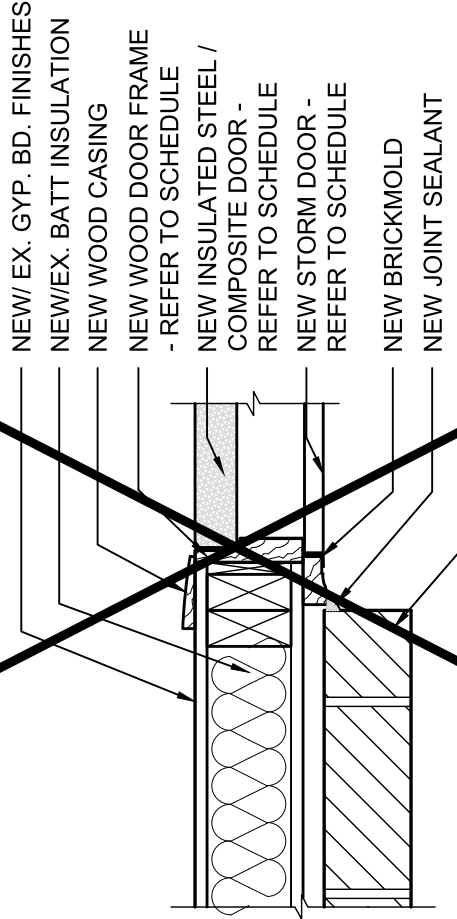
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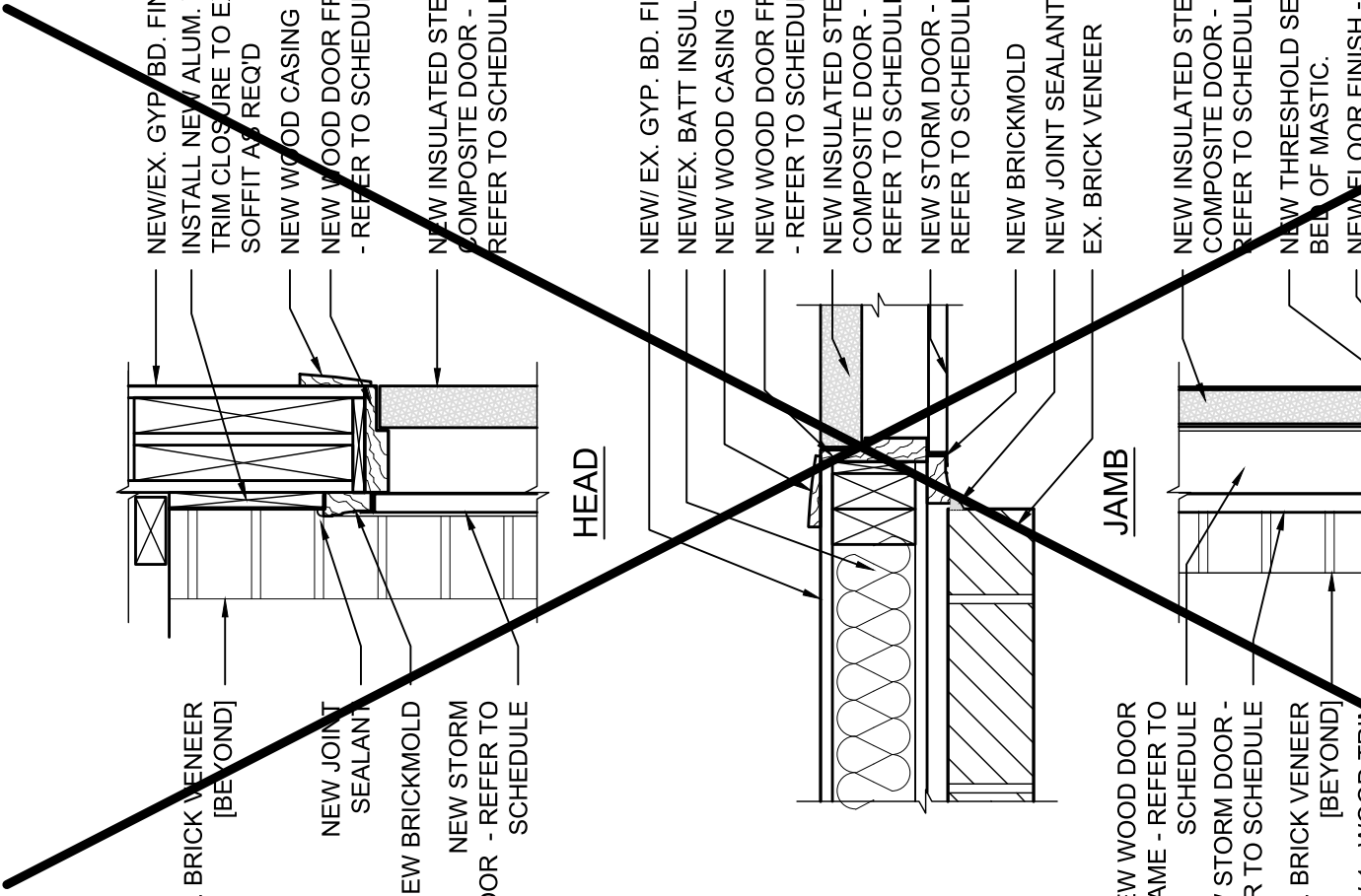
JAMB



HEAD



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

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8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB-MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. CORRECT ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED BEFORE ARCHITECT IMMEDIATELY, BEFORE COMMENCEMENT OF WORK OR JOB CONDITIONS (INCLUDING PERMITS) ARISE AND CAUSE THE CONTRACTOR TO TAKE CORRECTIVE ACTION. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE CONTRACTOR IF THEY ARE NOT CORRECT. PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.5.1. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL MATERIALS, NON APPROVALS DUE TO SUCH AS PERMITS, CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL INVESTIGATIVE WORK BE REQUIRED BEFORE COMMENCEMENT OF WORK IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE REQUIRED IMMEDIATELY.
  - 1.1.7. ANY PART OR PARTS OF THE PROJECT THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE REQUIRED IMMEDIATELY.



REMOVE EX. VERTICAL SIDING, INSTALL NEW VINYL LAP SIDING AT GABLE ENDS (INSTALL NEW BLOCKING AT GABLE ENDS)

REMOVE EX., INSTALL NEW ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT

EX. GUTTER DOWNSPOUTS TO REMOVE / REINSTALL REQ'D BY WO

REMOVE EX. LANDSCAPE SHRUBS/ OVERGROWTH FROM AROUND BUILDING RETAINING WALL / PROPERTY LINES - RESTORE IMPACTED AREA W/ TOPSOIL & SEED

EX. SHINGLE ROOF SYSTEM TO REMAIN REMOVE EX., INSTALL NEW ADDRESS NUMBERS

REMOVE EX., INSTALL NEW VINYL WINDOWS

WEST ELEVATION



EX. SHINGLE ROOF SYSTEM TO REMAIN

REMOVE EX., INSTALL NEW ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT

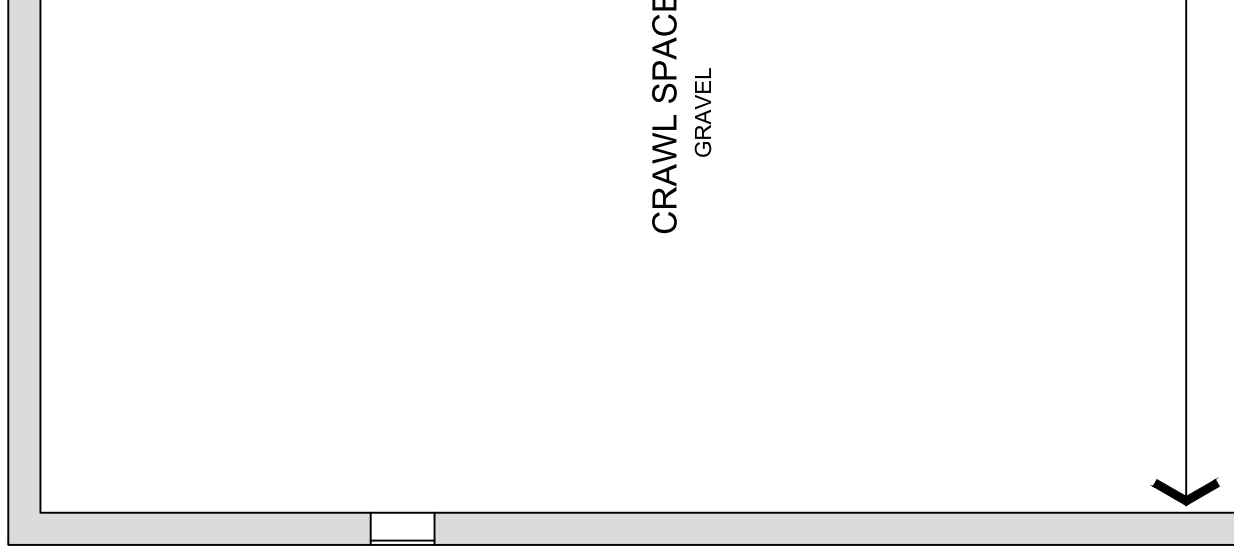
REMOVE EX. VERTICAL SIDING, INSTALL NEW VINYL LAP SIDING AT GABLE ENDS

EX. GUTTERS & DOWNSPOUTS TO REMOVE

REMOVE EX. OVERGROWTH FROM AROUND RETAINING WALL - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

EX. CONCRETE RETAINING WALL TO REMAIN - CLEAN /

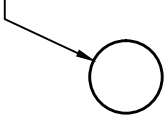
CRAWL SPACE  
GRAVEL



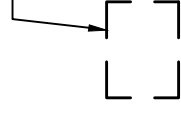
EQUAL

EXTEND / CANTILEVER  
BEAM TO FOUNDATION  
WALL

NEW SUMP PUMP  
& PIT - REFER TO  
PME DWGS.



EX. CRAWL SPACE  
ACCESS, ABOVE.



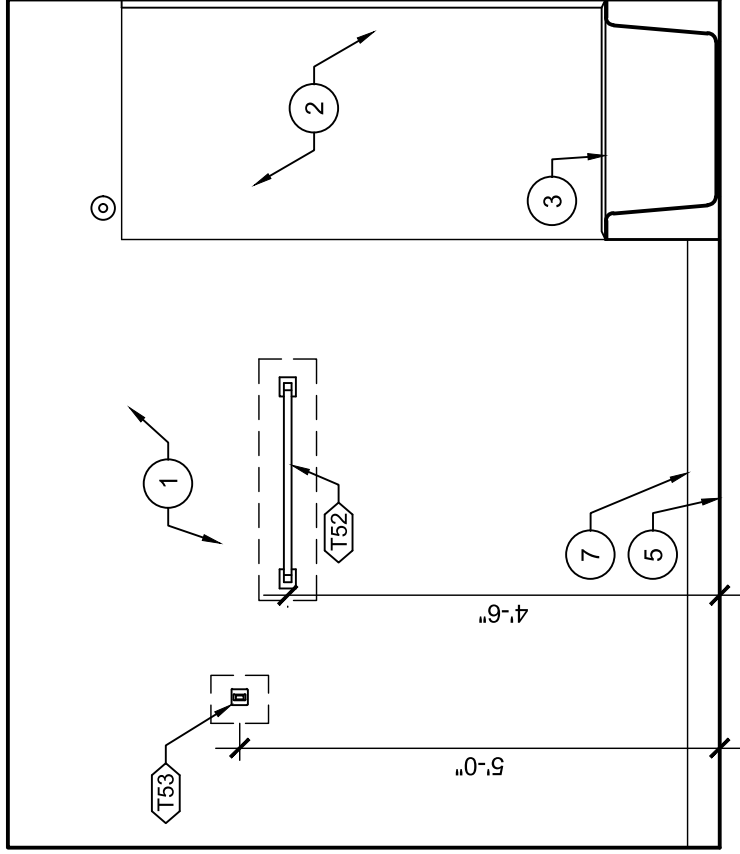
NEW 3"Ø x 11 GA. STEEL  
STUB COLUMN ON 24"Ø x  
8" DP CONCRETE  
FOOTING, TYP.



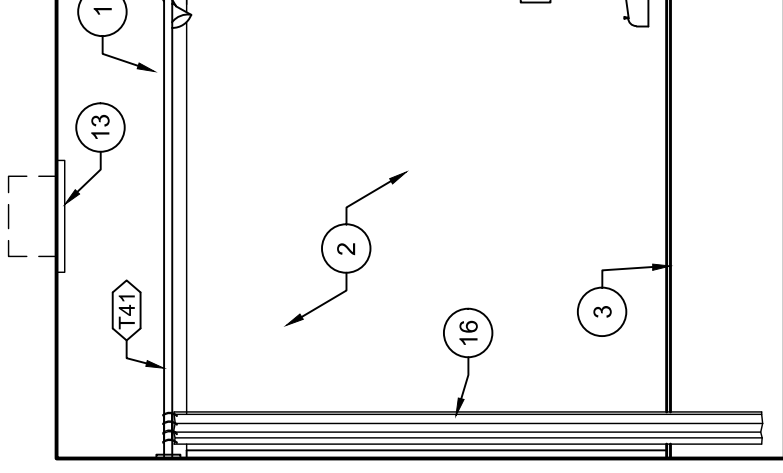
NEW RADON  
MITIGATION  
SYSTEM PIPING

[3] 2x10 BEAM W/  
STAGGERED JOINTS





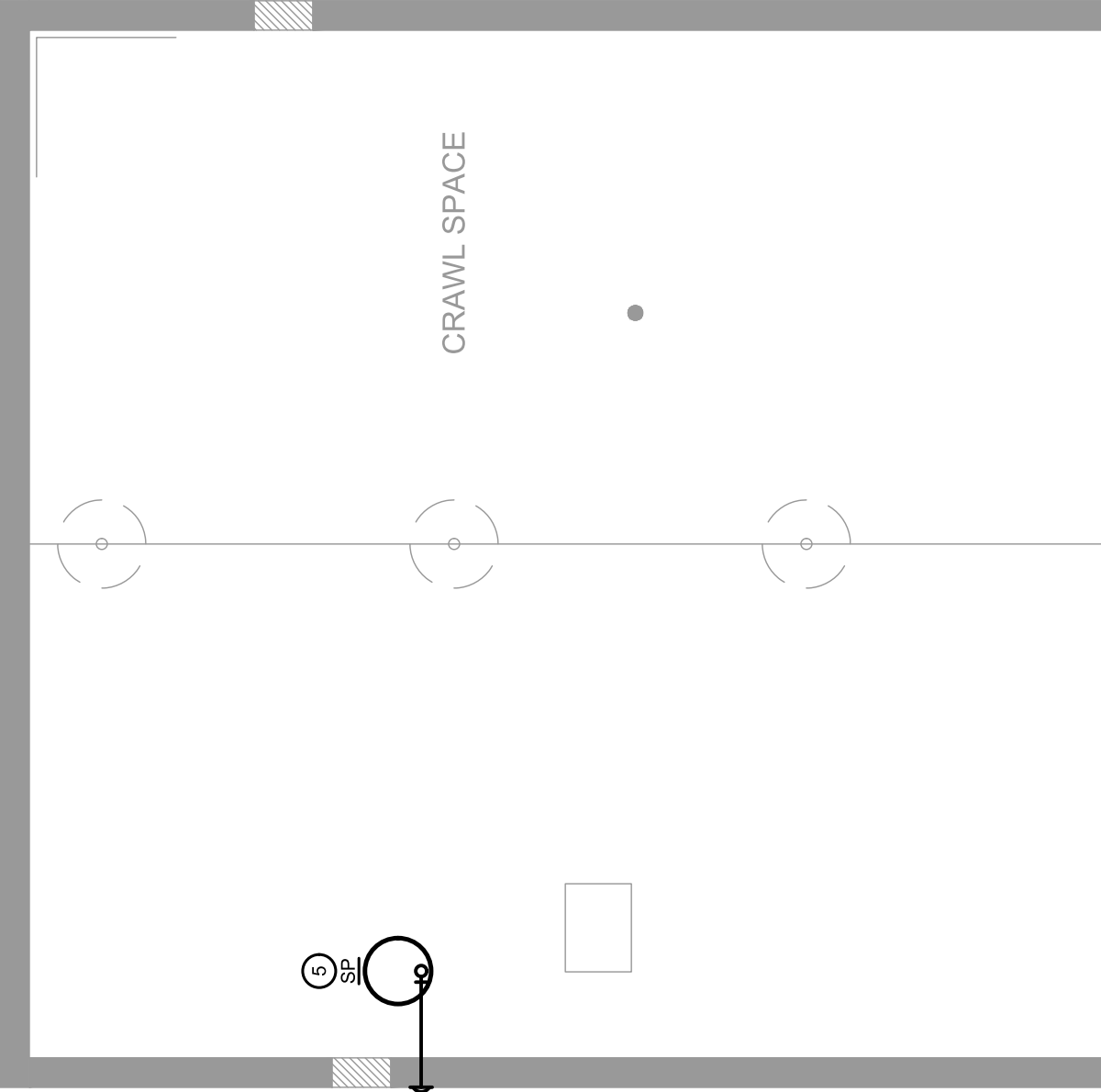
A

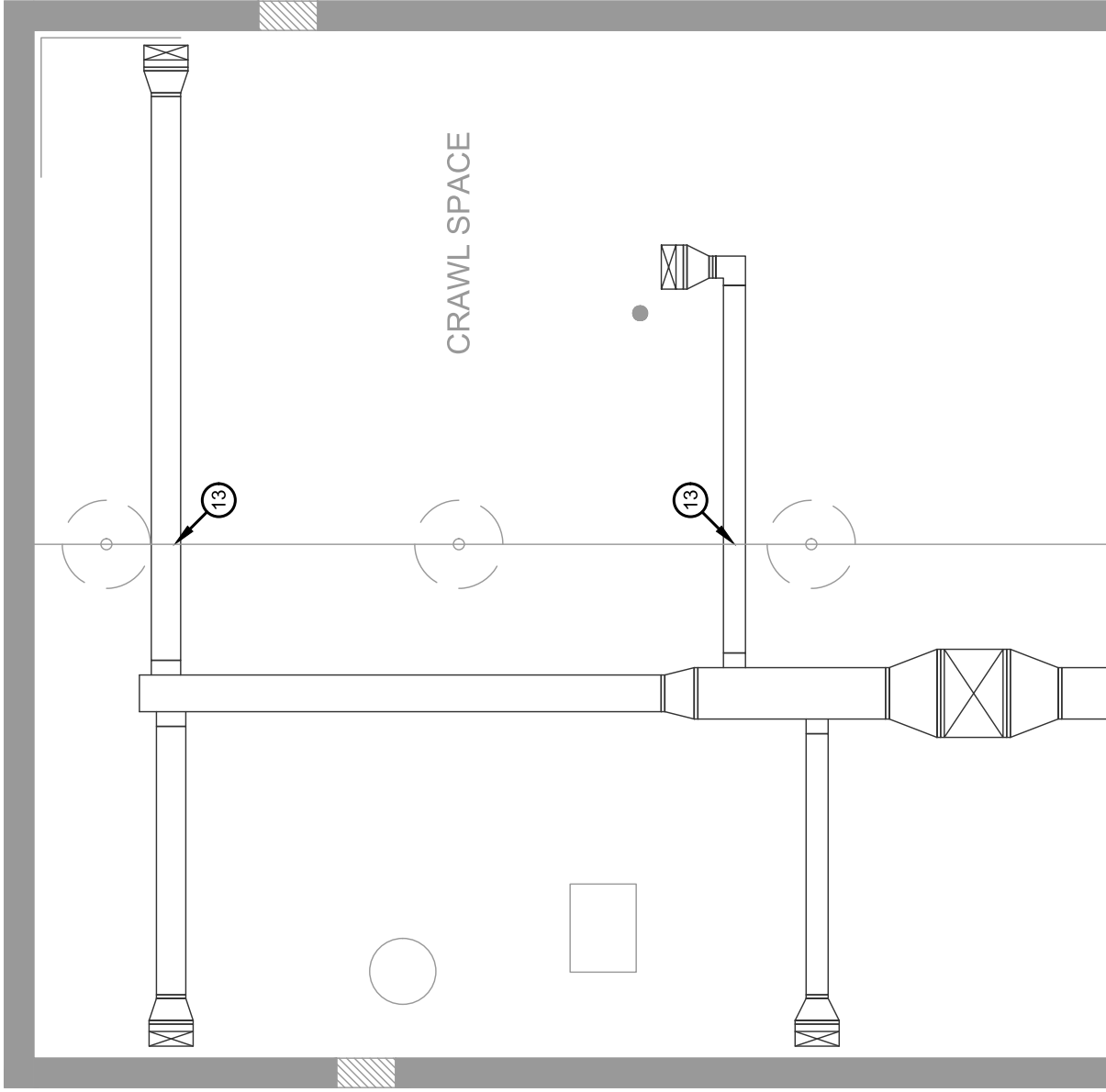


B

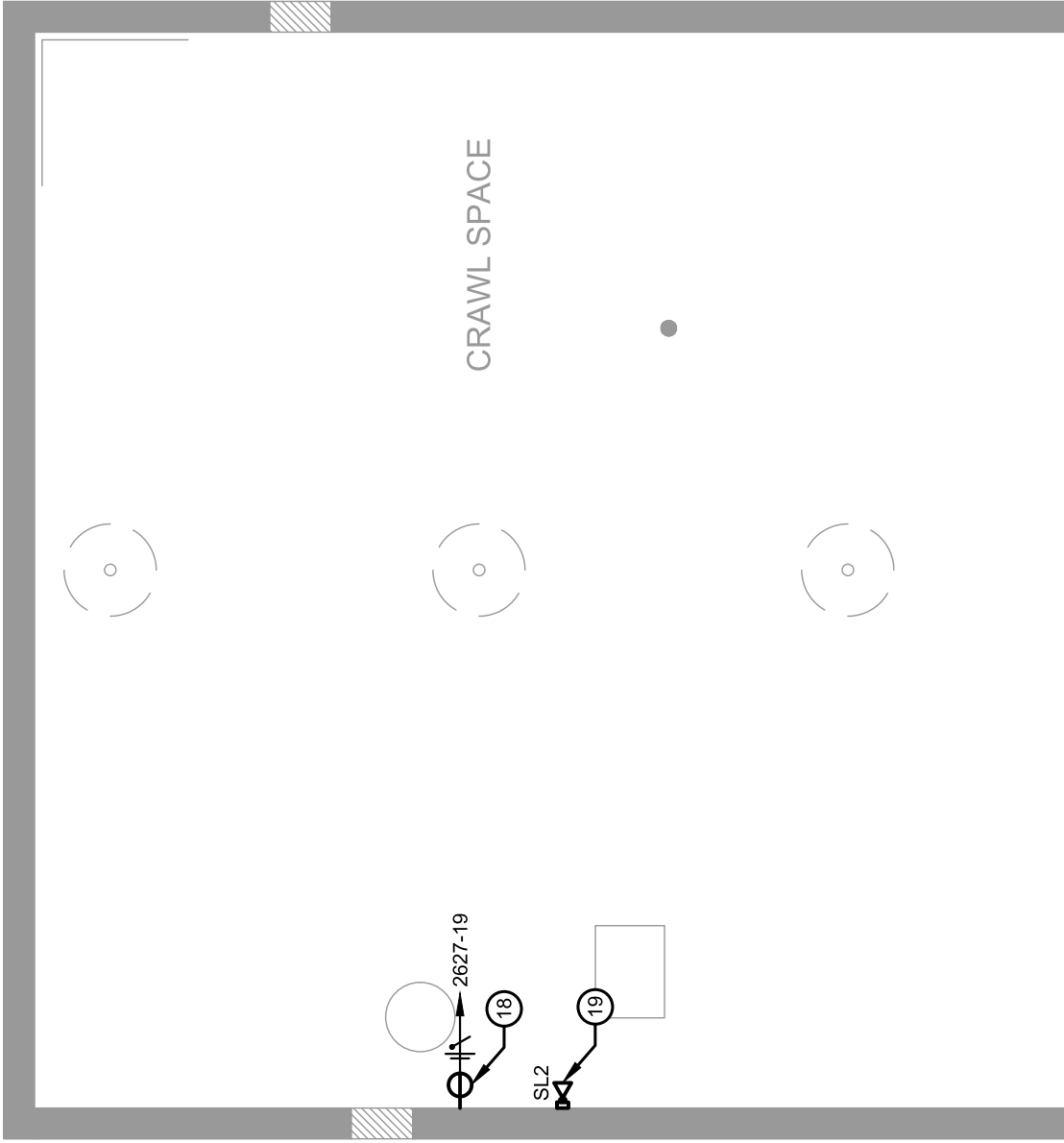
# INTERIOR ELEVATIONS AT BATH 205

SCALE: 1/2" = 1'-0"





5



Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	15	1
3	15	1
5	15	1
7	15	1
9	30	2
11		
13	15	1
15	10	2

# Scatter Springf

---

## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



E2M CONSULTING ENGINEERING  
682 LUXEDO PLACE  
CINCINNATI, OH 45206  
TEL: 513.587.0050  
www.e2m-eng.com



M.A.C. PARAN CONSULTING  
SERVICES, INC.  
3959 FUJITON GROVE RD

## SHEET INDEX

330 LINCOLN PARK CIR. [SITE 11]

11-G1.1 PROJECT INFORMATION

11-G1.2 SCHEDULES

11-G1.3 TYPICAL DETAILS

11-G1.4 TYPICAL DETAILS

11-G1.5 GENERAL PROJECT NOTES

11-C1.1 ARCHITECTURAL SITE PLAN / EXTERIOR F

11-D1.1 EXISTING / DEMOLITION FLOOR PLANS

11-A1.1 PROPOSED FLOOR PLANS

11-A1.2 REFLECTED CEILING PLANS

11-A3.1 INTERIOR ELEVATIONS

11-P1.1 PLUMBING PLAN

11-M1.1 MECHANICAL PLAN

11-M5.1 MECHANICAL SCHEDULES & NOTES

11-E1.1 ELECTRICAL PLAN

11-E5.1 ELECTRICAL SCHEDULES & NOTES

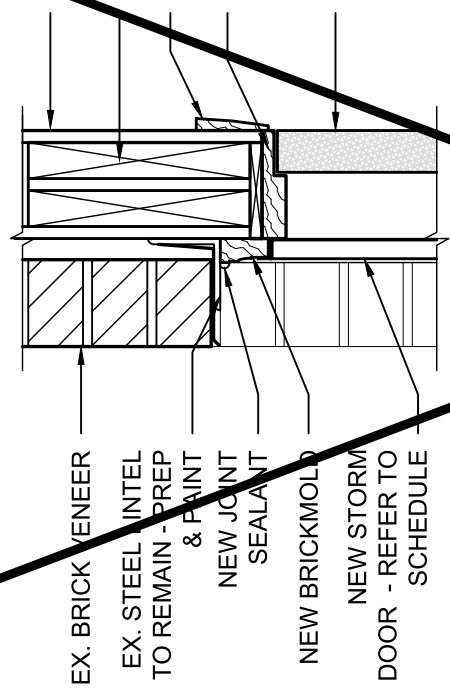
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	STAIR	EX.	EX.	EX.	EX.	-
002	UNFINISHED BASEMENT	EX.	-	-	-	-
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	DINING	F-1	B-1	W-1	C-1	-
103	KITCHEN	F-1	B-1	W-1	C-1	-
104	PANTRY	F-1	B-1	W-1	C-1	-
105	MECHANICAL	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	POWDER	F-1	B-1	W-1	C-1	-
108	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
200	HALL	F-1	B-1	W-1	C-1	-
201	BEDROOM 1	F-1	B-1	W-1	C-1	-
202	CLOSET	F-1	B-1	W-1	C-1	-
203	LAUNDRY	F-1	B-1	W-1	C-1	-
204	LINEN	F-1	B-1	W-1	C-1	-
205	BATH	F-1	B-1	W-1	C-1	-
206	BEDROOM 2	F-1	B-1	W-1	C-1	-
207	CLOSET	F-1	B-1	W-1	C-1	-
208	BEDROOM 3	F-1	B-1	W-1	C-1	-
209	CLOSET	F-1	B-1	W-1	C-1	-

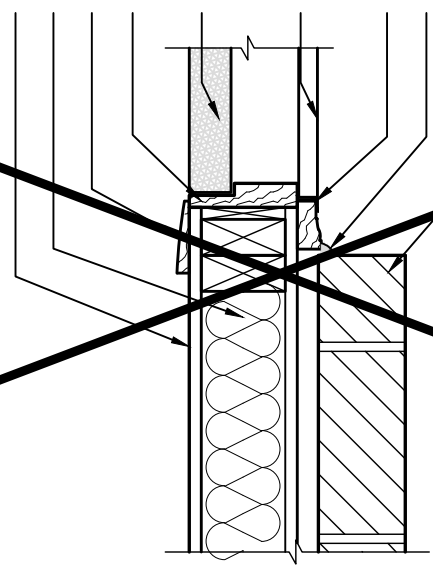
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM; FLOAT; SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER

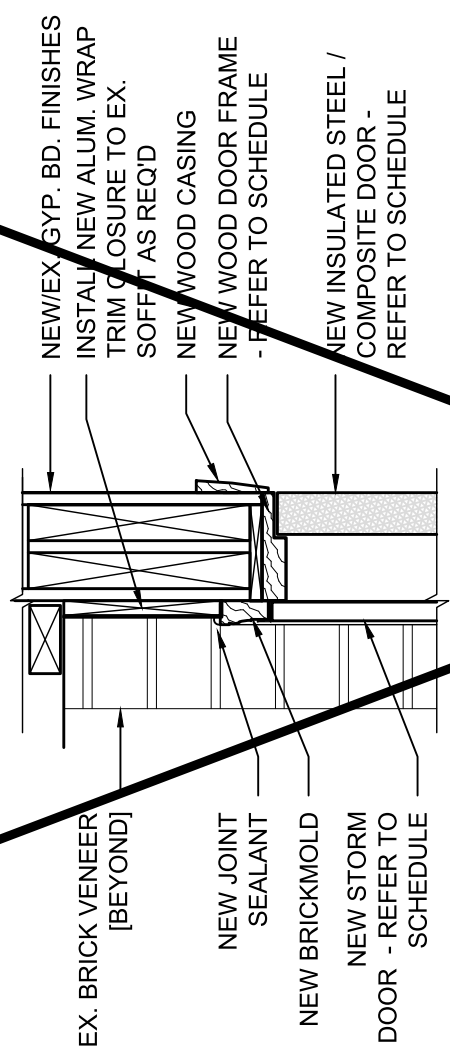
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



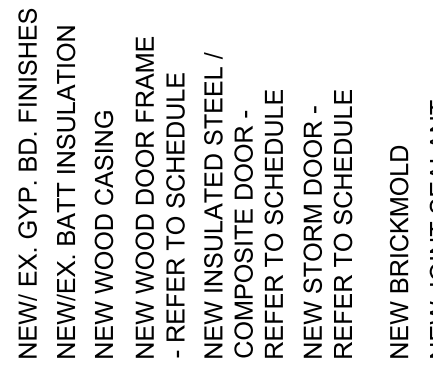
HEAD



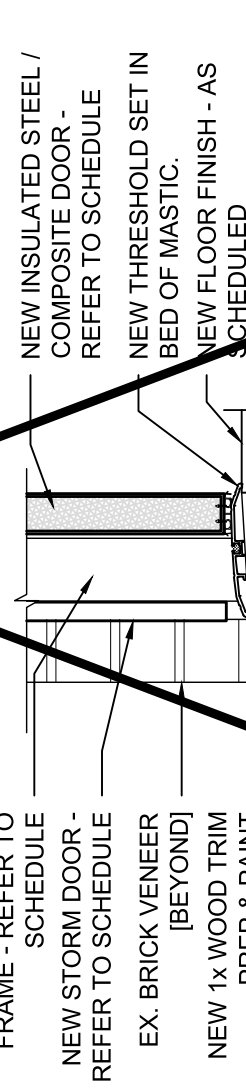
JAMB



HEAD



JAMB



EX. BRICK VENEER  
 [BEYOND]

NEW JOINT  
 SEALANT

NEW BRICKMOLD

NEW STORM  
 DOOR - REFER TO  
 SCHEDULE

NEW WOOD DOOR  
 FRAME - REFER TO  
 SCHEDULE

NEW STORM DOOR -  
 REFER TO SCHEDULE

EX. BRICK VENEER  
 [BEYOND]

NEW 1x WOOD TRIM  
 REFER & PAINT

PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT.

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
  - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS CONTRACTOR IS RESPONSIBLE FOR DETERMINING

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE COMMENCING THE WORK. DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS SHALL BE ANALYZED AND CAUSE THE CONTRACTOR TO PROCEED WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AS WELL AS VERIFYING ALL MATERIALS, METHODS, AND ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH THE EXISTING CONDITIONS AS WELL AS VERIFYING ALL MATERIALS, METHODS, AND ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL MATERIALS, METHODS, AND ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS.
  - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT, IMMEDIATELY IN WRITING OF ANY QUESTIONS OR DISCREPANCIES. CONSULTANTS, OR REGULATORY AGENCIES, OR APPROVALS IN WRITING ARE VALID AND ANY CHANGES IN WORK SHALL BE APPROVED BY THE ARCHITECT AND THE CONTRACTOR'S RESPONSIBILITY FOR VERIFYING ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK BE REMAINS WITH THE CONTRACTOR IMMEDIATELY. ENGINEERING AND ARCHITECTURAL MODIFICATIONS IN THESE DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES. PRACTICES SHALL BE BROUGHT TO THE OWNER IMMEDIATELY UPON DISCOVERY.
  - 1.1.7. ANY PART OR PARTS OF THE EXISTING CONDITIONS (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODES. PRACTICES SHALL BE BROUGHT TO THE OWNER IMMEDIATELY UPON DISCOVERY.

EX. SHINGLE ROOF SYSTEM TO REMAIN

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFITS TO REMAIN.

EX. ALUM. GUTTERS & DOWNSPOUTS TO REMAIN

REMOVE EX. SATELLITE DISHES & MISC SURFACE MOUNTED WIRING.

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

REMOVE EX., INSTALL NEW EXTERIOR LIGHT FIXTURES

REMOVE EX., INSTALL NEW ADDRESS NUMBER

REMOVE EX. LANDSCAPING / OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

EX. VINYL WINDOWS TO REMAIN

REMOVE EX., INSTALL NEW EXTERIOR DOORS, FRAMES, HARDWARE.



SOUTH ELEVATION

EX. SHINGLE ROOF SYSTEM TO REMAIN

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFITS TO REMAIN.

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

EX. ALUM. GUTTERS & DOWNSPOUTS TO REMAIN

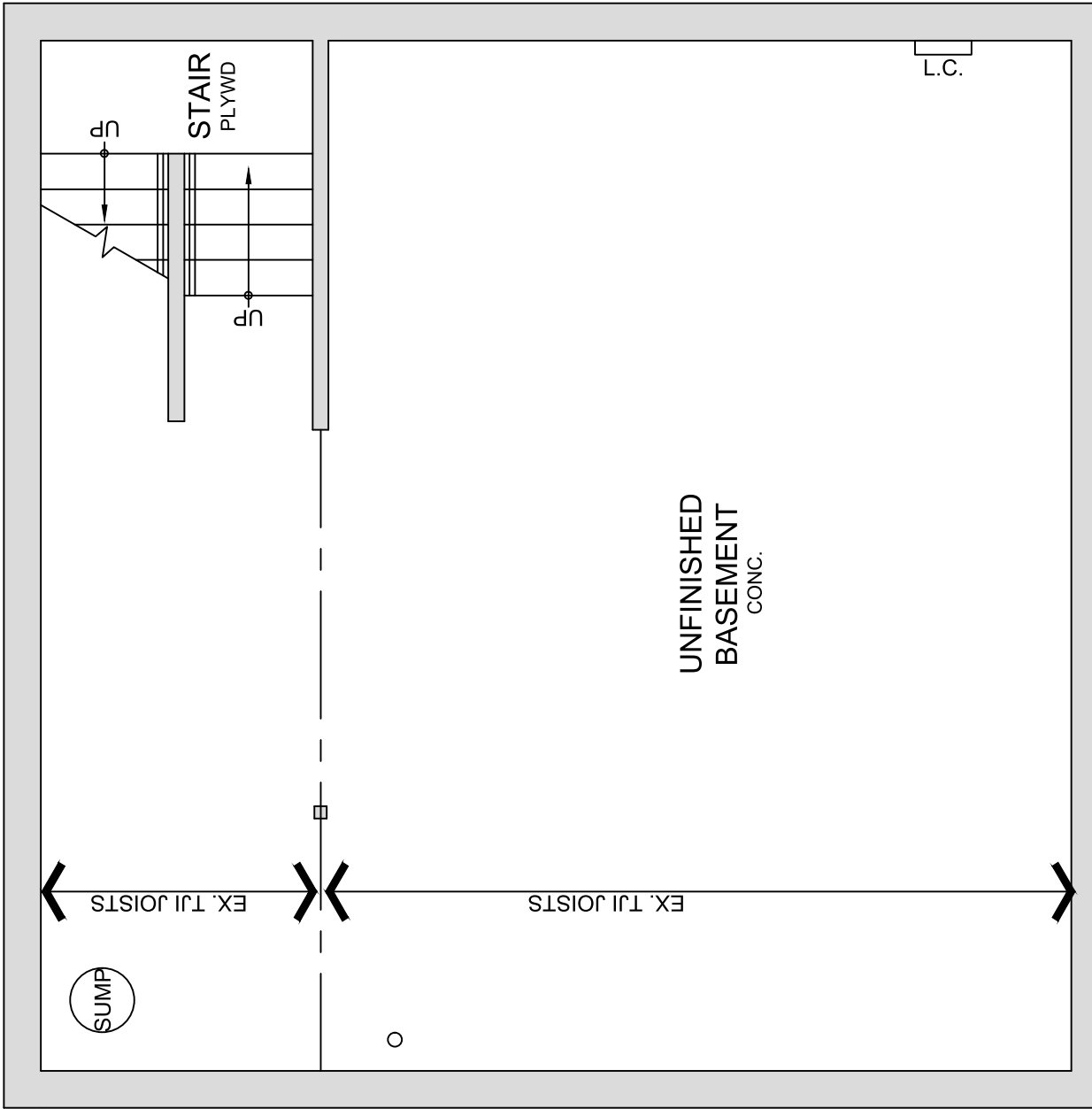
REMOVE EX. OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED



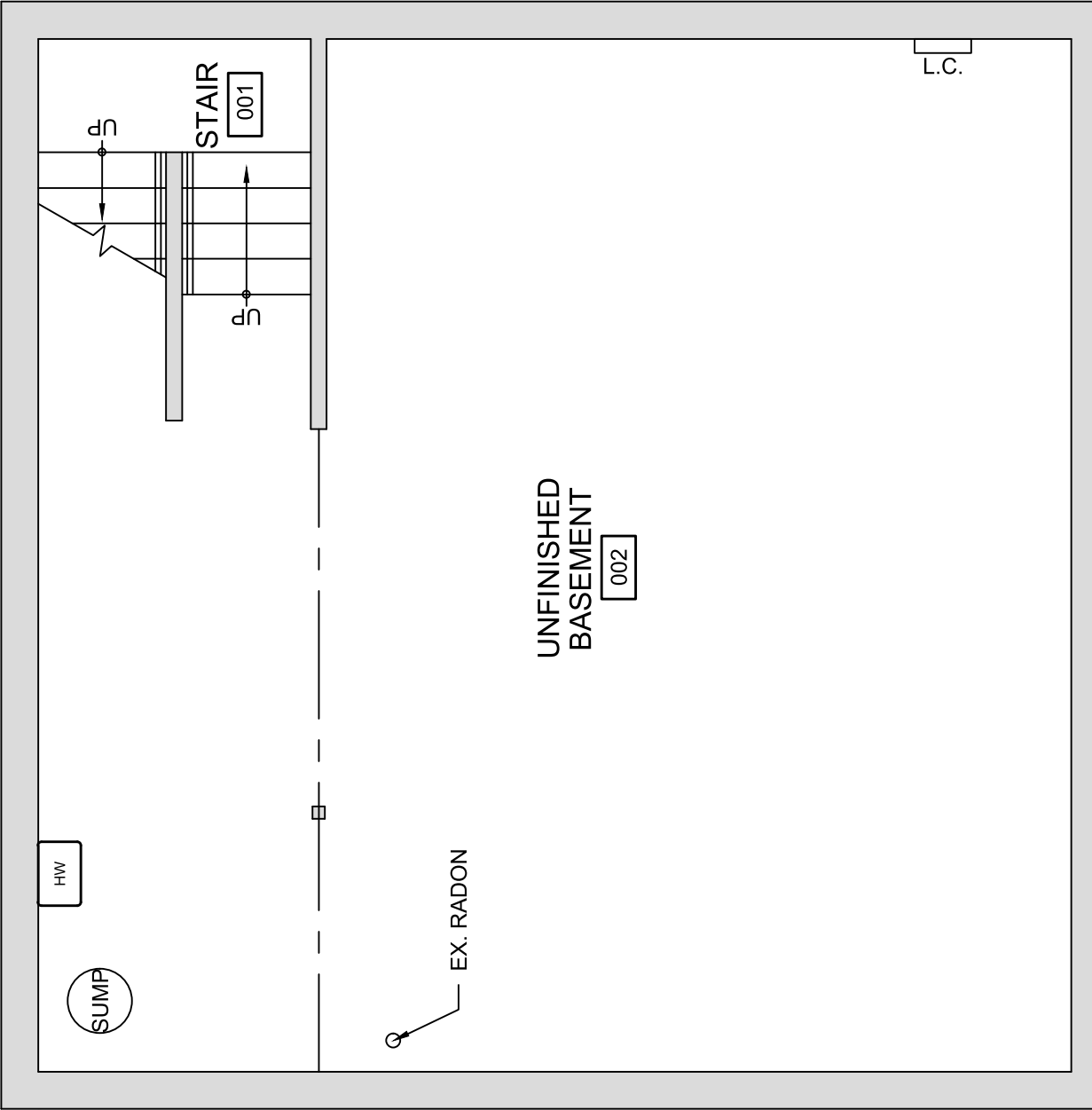
REMOVE EX. OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

REMOVE EX., INSTALL

±26'-0"



±26'-0"



HW

SUMP

STAIR

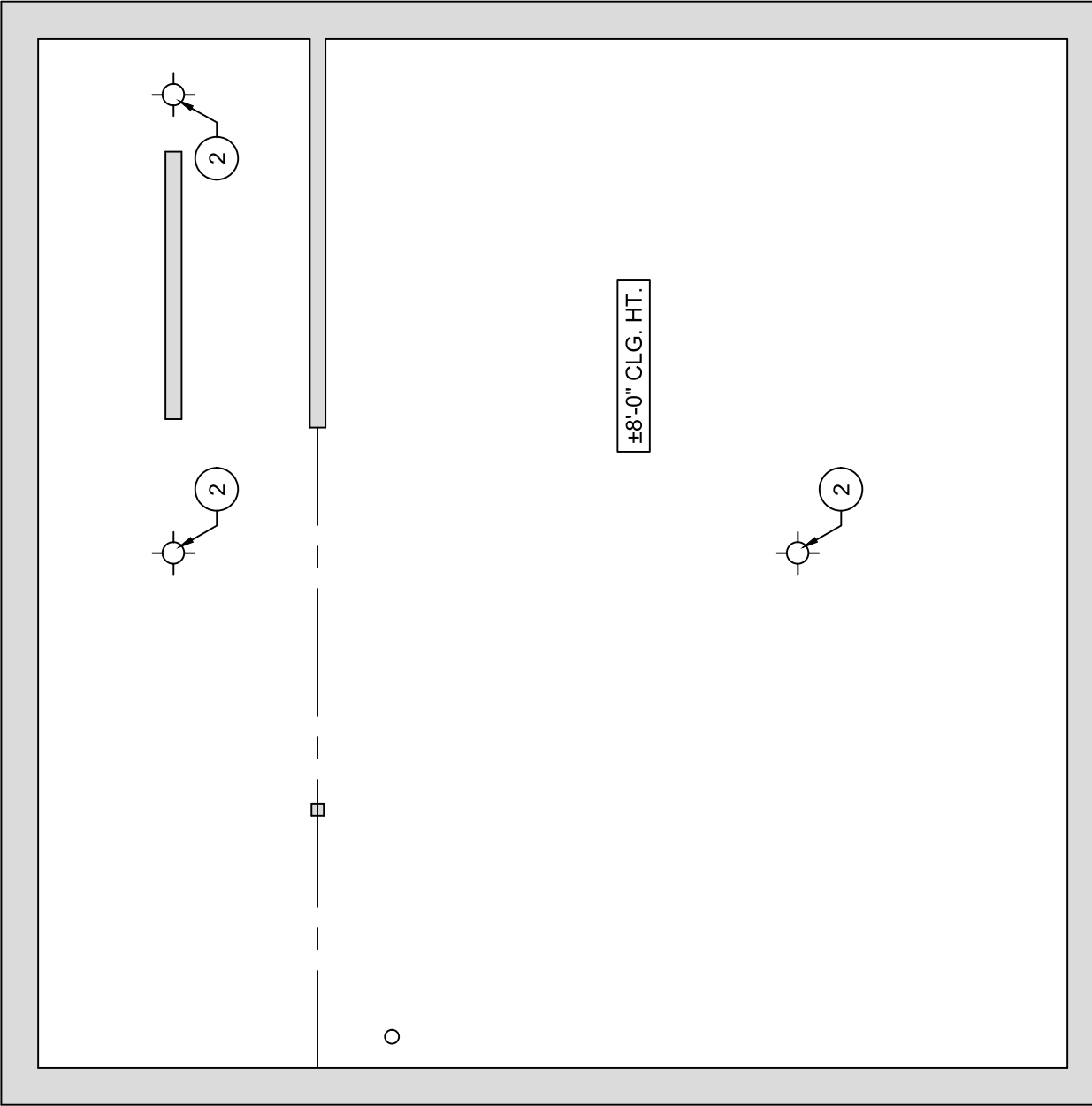
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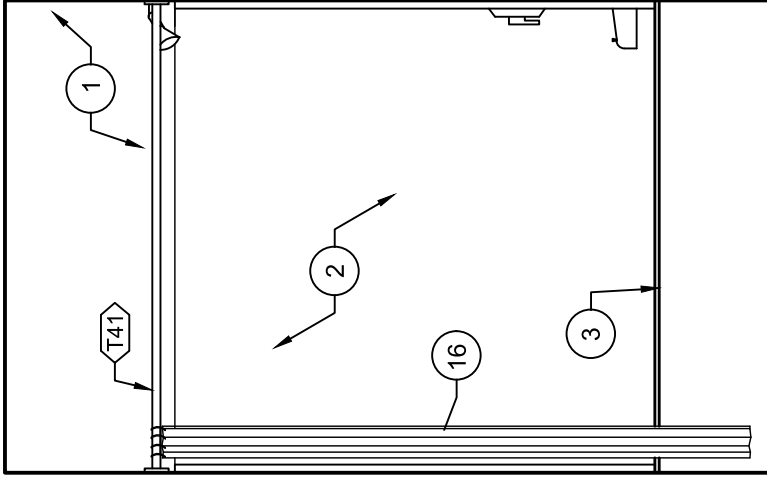
EX. RADON

UNFINISHED  
BASEMENT

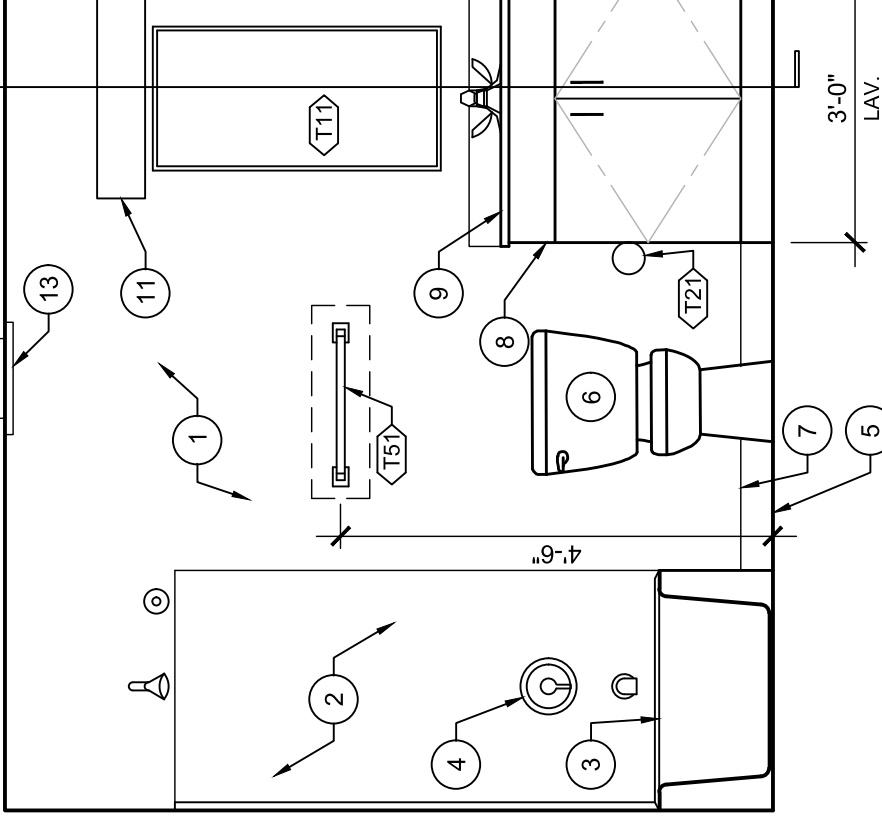
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L.C.





A

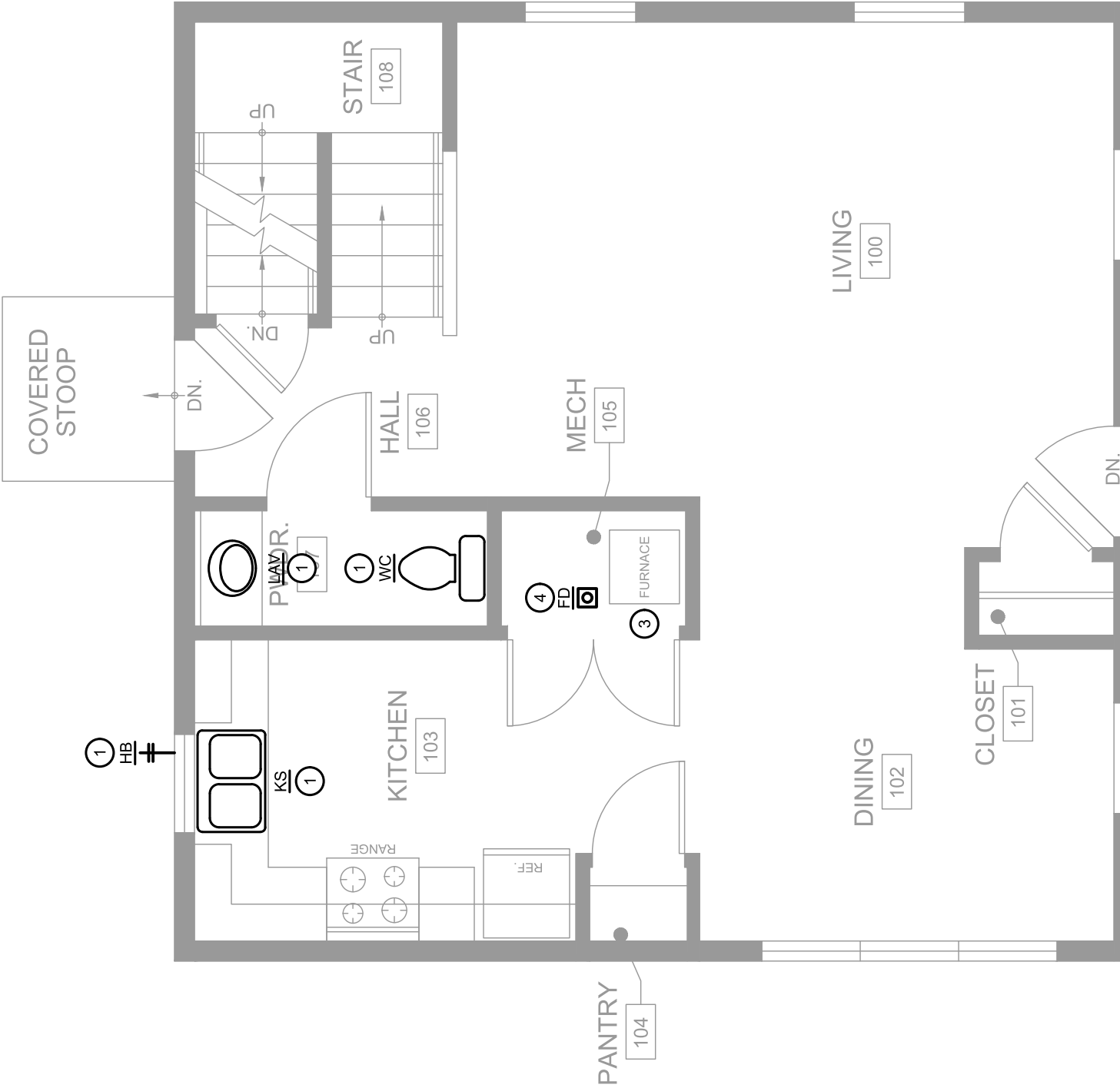


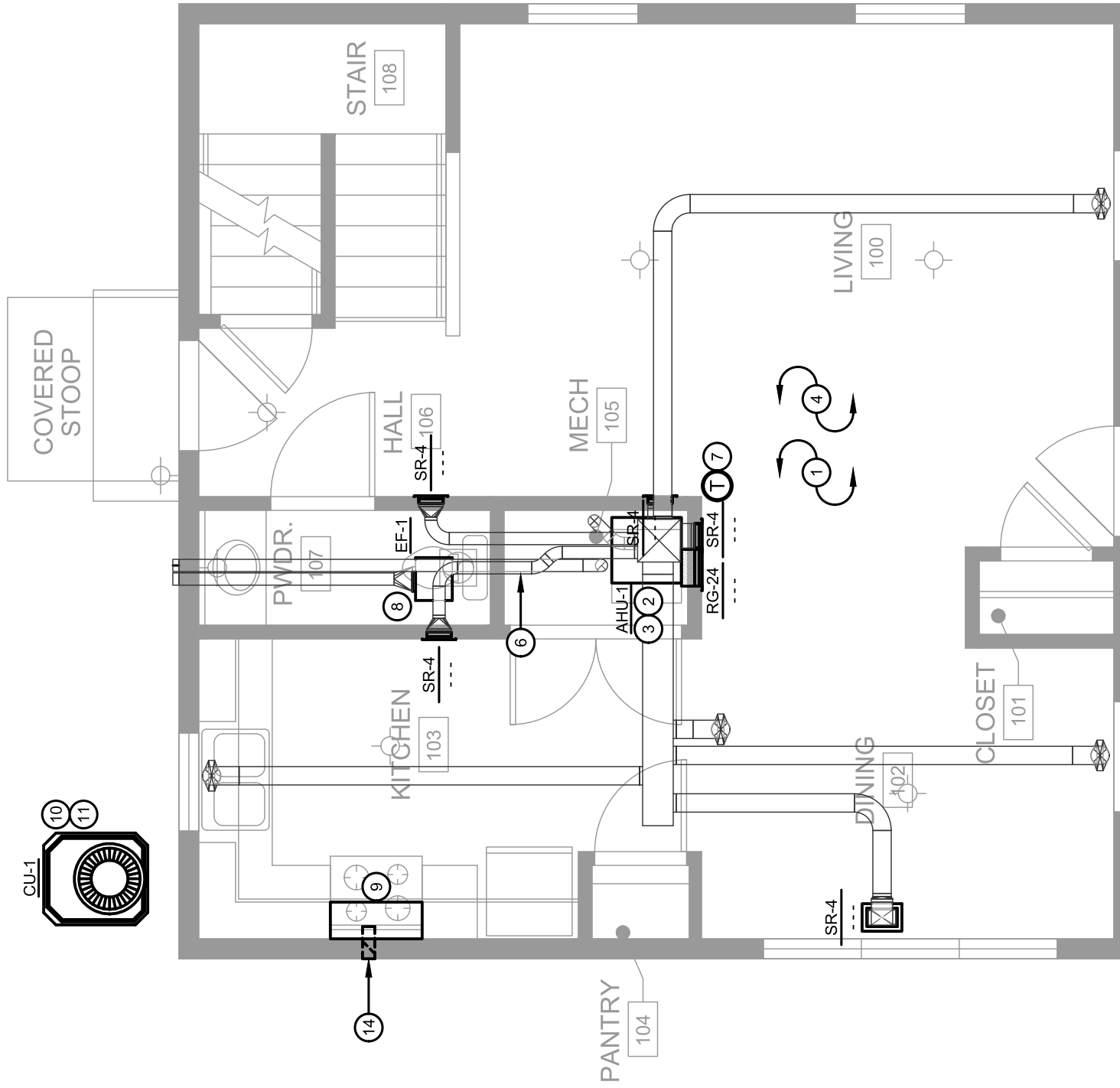
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# INTERIOR ELEVATIONS AT BATH 205

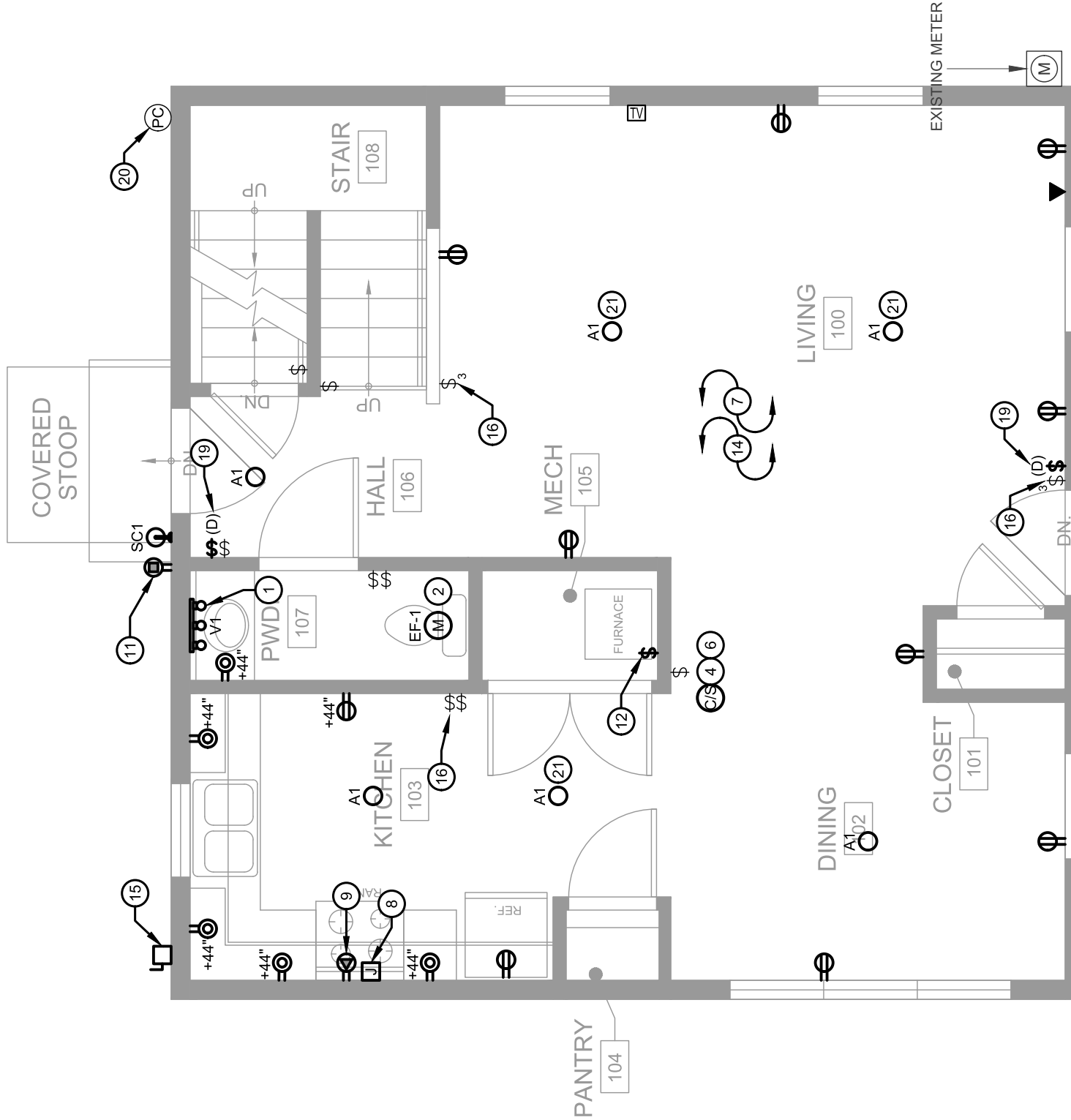
SCALE: 1/2" = 1'-0"











COVERED  
STOOP

STAIR  
108

HALL  
106

PWD  
107

MECH  
105

FURNACE

KITCHEN  
103

DINING  
A102

CLOSET  
101

LIVING  
100

EXISTING METER

PANTRY  
104

20

11

15

19

1

9

8

16

2

16

12

A1

C/S

4

6

14

7

A1

21

A1

02

16

19

101

M

PC

SC1

(D)

V1

EF-1

M

3

3

3

3

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Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	15	1
3	15	1
5	15	1
7	15	1
9	15	1
11	15	1
13	15	1
15	20	1
17	20	1
19	20	1
21	20	1
23	15	1
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>

# Scatter Springf

## PROJECT TEAM

---

### ARCHITECT:



**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



E2M CONSULTING ENGINEERING  
682 LUXEDO PLACE  
CINCINNATI, OH 45206  
TEL: 513.587.0050  
www.e2m-eng.com



M.A.C. PARAN CONSULTING  
SERVICES, INC.  
3959 FUJITON GROVE RD

## SHEET INDEX

359 LINCOLN PARK CIR. [SITE 12]	
12-G1.1	PROJECT INFORMATION
12-G1.2	SCHEDULES
12-G1.3	TYPICAL DETAILS
12-G1.4	TYPICAL DETAILS
12-G1.5	GENERAL PROJECT NOTES
12-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR FLOOR PLANS
12-D1.1	EXISTING / DEMOLITION FLOOR PLANS
12-A1.1	PROPOSED FLOOR PLANS
12-A1.2	REFLECTED CEILING PLANS
12-A3.1	INTERIOR ELEVATIONS
12-P1.1	PLUMBING PLAN
12-M1.1	MECHANICAL PLAN
12-M5.1	MECHANICAL SCHEDULES & NOTES
12-E1.1	ELECTRICAL PLAN
12-E5.1	ELECTRICAL SCHEDULES & NOTES

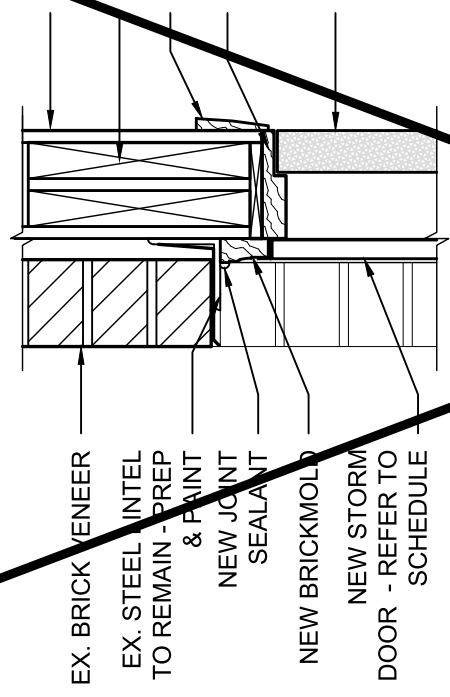
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	STAIR	EX.	EX.	EX.	EX.	-
002	UNFINISHED BASEMENT	EX.	-	-	-	-
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	DINING	F-1	B-1	W-1	C-1	-
103	KITCHEN	F-1	B-1	W-1	C-1	-
104	PANTRY	F-1	B-1	W-1	C-1	-
105	MECHANICAL	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	POWDER	F-1	B-1	W-1	C-1	-
108	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
200	HALL	F-1	B-1	W-1	C-1	-
201	BEDROOM 1	F-1	B-1	W-1	C-1	-
202	CLOSET	F-1	B-1	W-1	C-1	-
203	LAUNDRY	F-1	B-1	W-1	C-1	-
204	LINEN	F-1	B-1	W-1	C-1	-
205	BATH	F-1	B-1	W-1	C-1	-
206	BEDROOM 2	F-1	B-1	W-1	C-1	-
207	CLOSET	F-1	B-1	W-1	C-1	-
208	BEDROOM 3	F-1	B-1	W-1	C-1	-
209	CLOSET	F-1	B-1	W-1	C-1	-

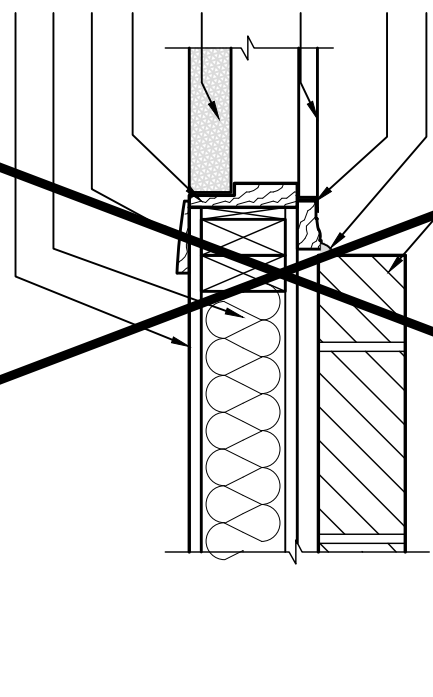
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM; FLOAT; SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER

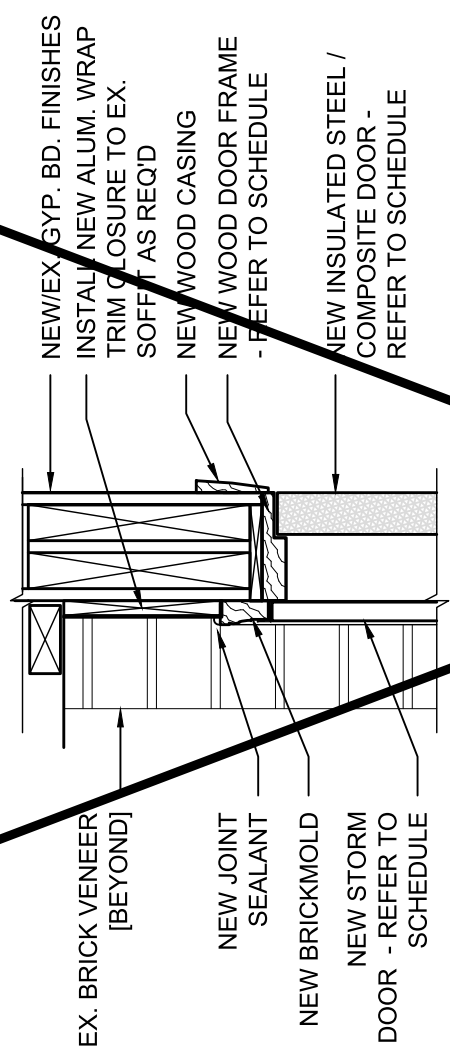
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



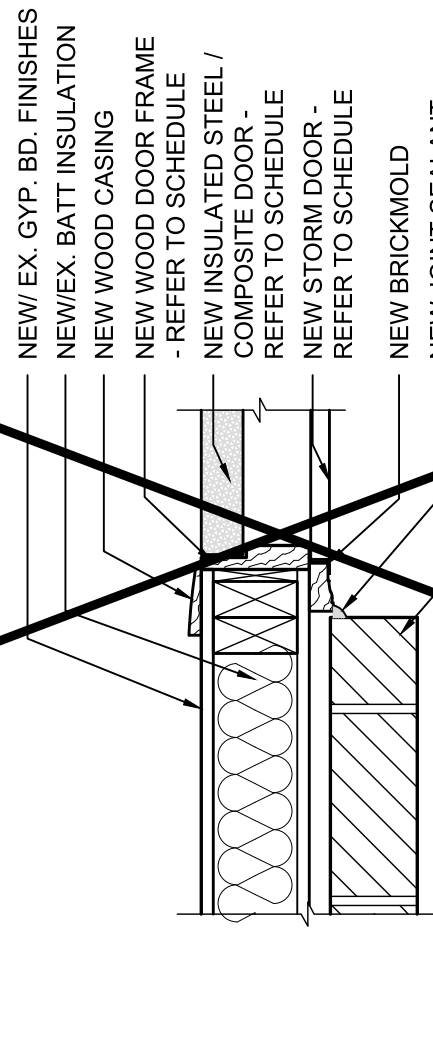
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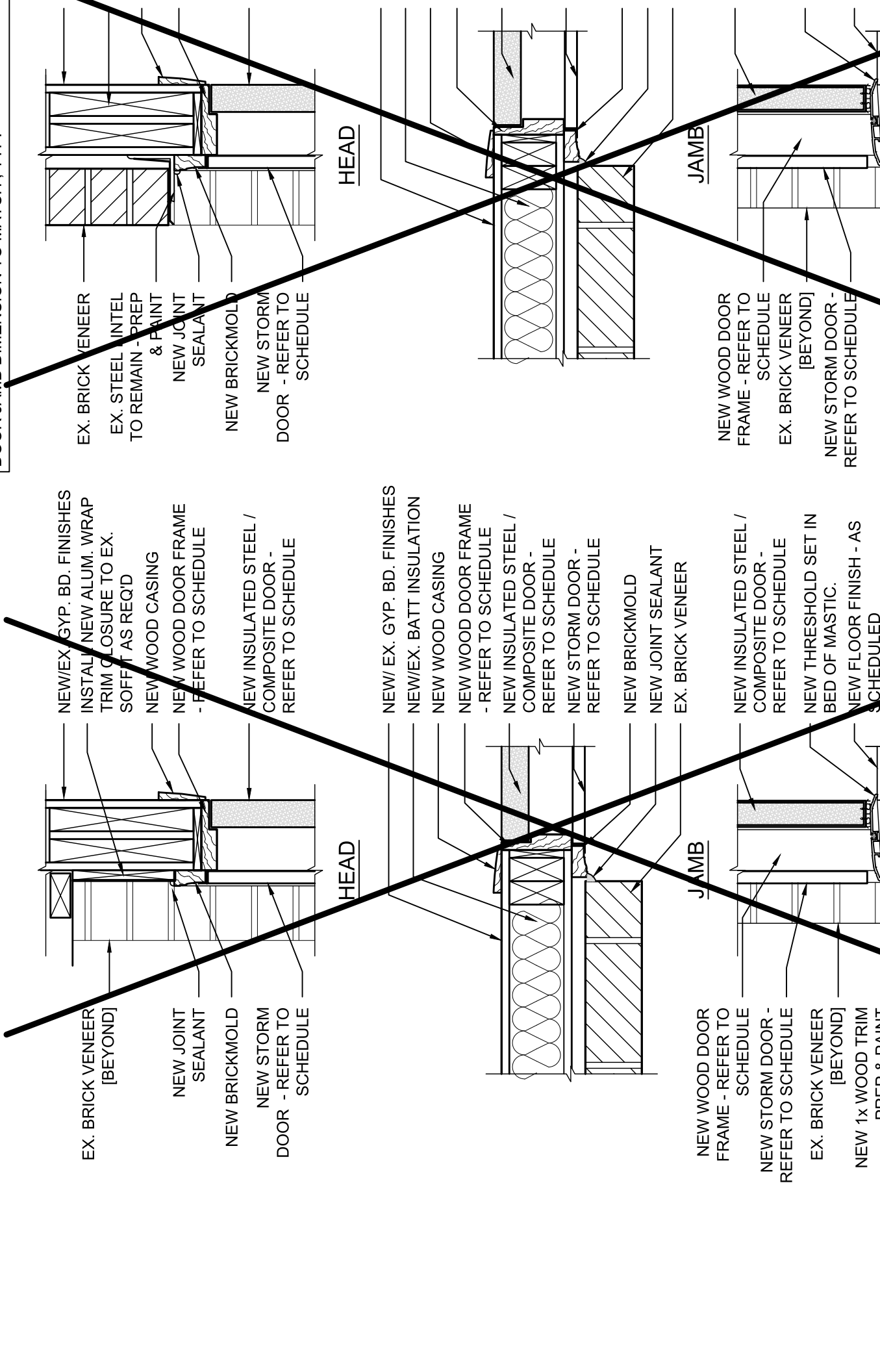
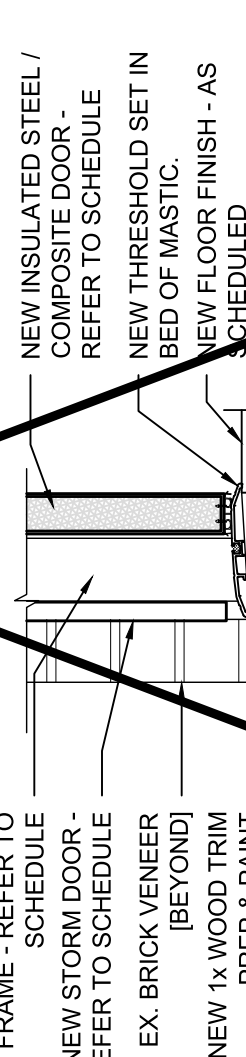
JAMB



HEAD



JAMB



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT.

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
  - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS CONTRACTOR IS RESPONSIBLE FOR DETERMINING

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE COMMENCING THE WORK. THE CONTRACTOR SHALL BE ANALYZED AND CAUSE THE CONTRACTOR TO PROCEED WITH WORK.
  - 1.1.3. FULLY EXAMINE AND BECOME FAMILIAR WITH THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFY ALL MATERIALS, METHODS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.4. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, EQUIPMENT, OR COMMENCING THE WORK OF THIS PROJECT. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY IN WRITING IF ANY DISCREPANCIES OR REGULATORY CHANGES IN WORK APPROVALS DUE TO SUCH CHANGES ARE IDENTIFIED BY THE CONTRACTOR'S RESPONSIBILITY. INVESTIGATIVE WORK BE REQUIRED TO VERIFY THE CONTRACT DOCUMENTS IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODE PRACTICES SHALL BE BROUGHT TO THE OWNER IMMEDIATELY UPON DISCOVERY.
  - 1.1.5.
  - 1.1.6.
  - 1.1.7.

EX. SHINGLE ROOF SYSTEM TO REMAIN

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFITS TO REMAIN.

EX. ALUM. GUTTERS & DOWNSPOUTS TO REMAIN

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

REMOVE EX., INSTALL NEW EXTERIOR LIGHT FIXTURES

REMOVE EX., INSTALL NEW ADDRESS NUMBERS

REMOVE EX., INSTALL NEW EXTERIOR DOORS, FRAMES, HARDWARE.



NORTH ELEVATION

EX. VINYL WINDOWS TO REMAIN

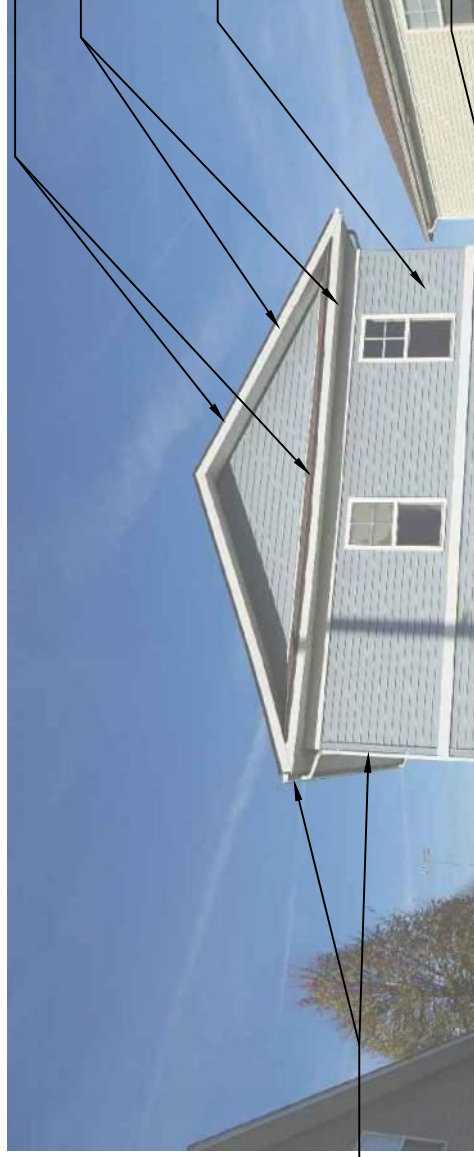
REMOVE EX. LANDSCAPING / OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

EX. SHINGLE ROOF SYSTEM TO REMAIN

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFITS TO REMAIN.

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

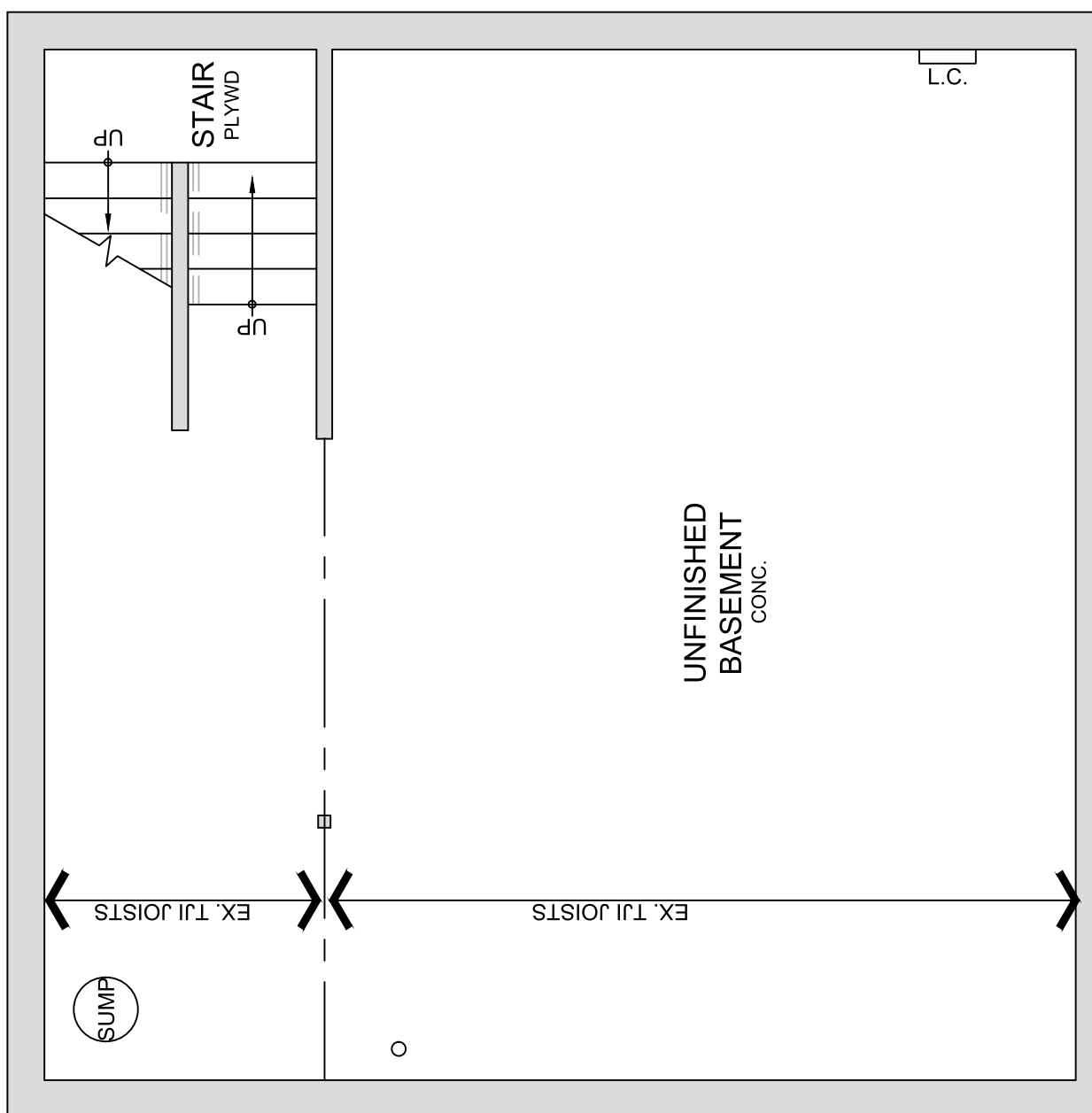
REMOVE EX., INSTALL



EX. ALUM. GUTTERS & DOWNSPOUTS TO REMAIN

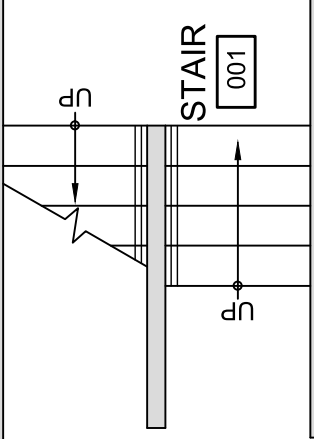
REMOVE EX., INSTALL

±26'-0"



±26'-0"

SUMP

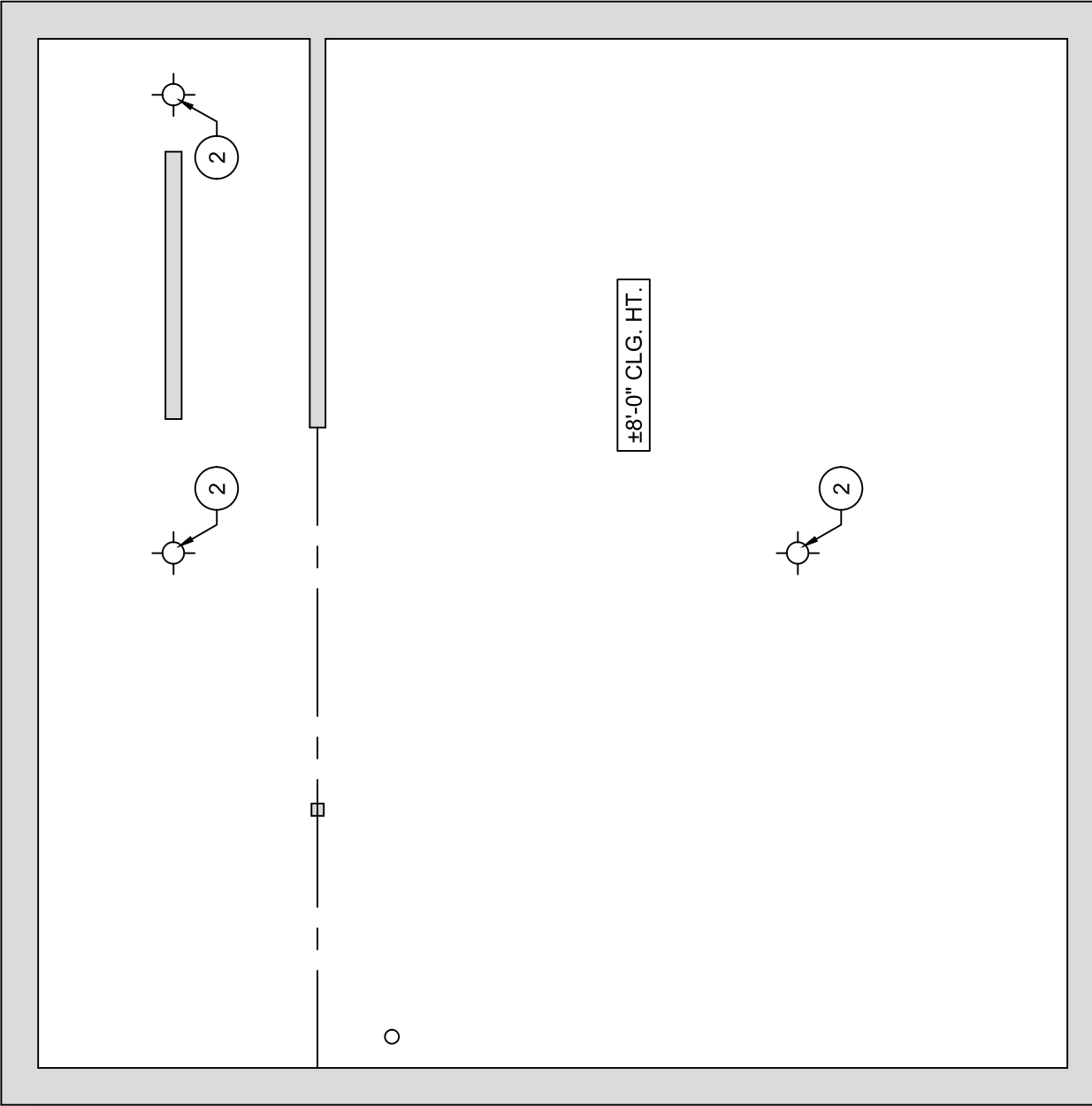


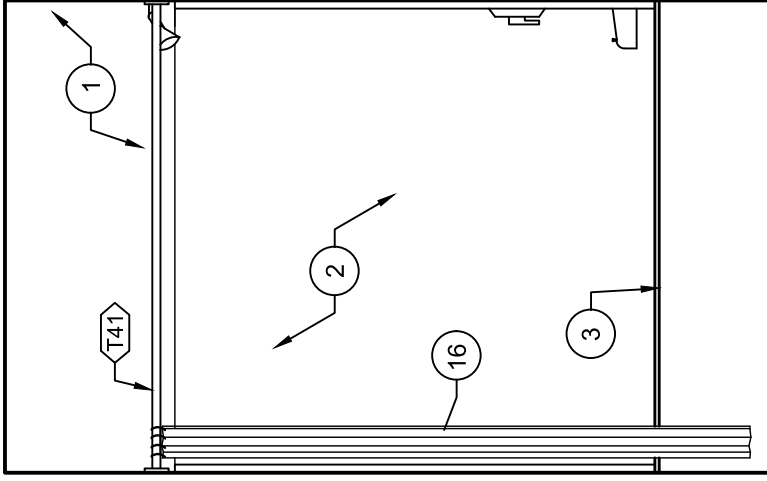
STAIR  
001

EX. RADON

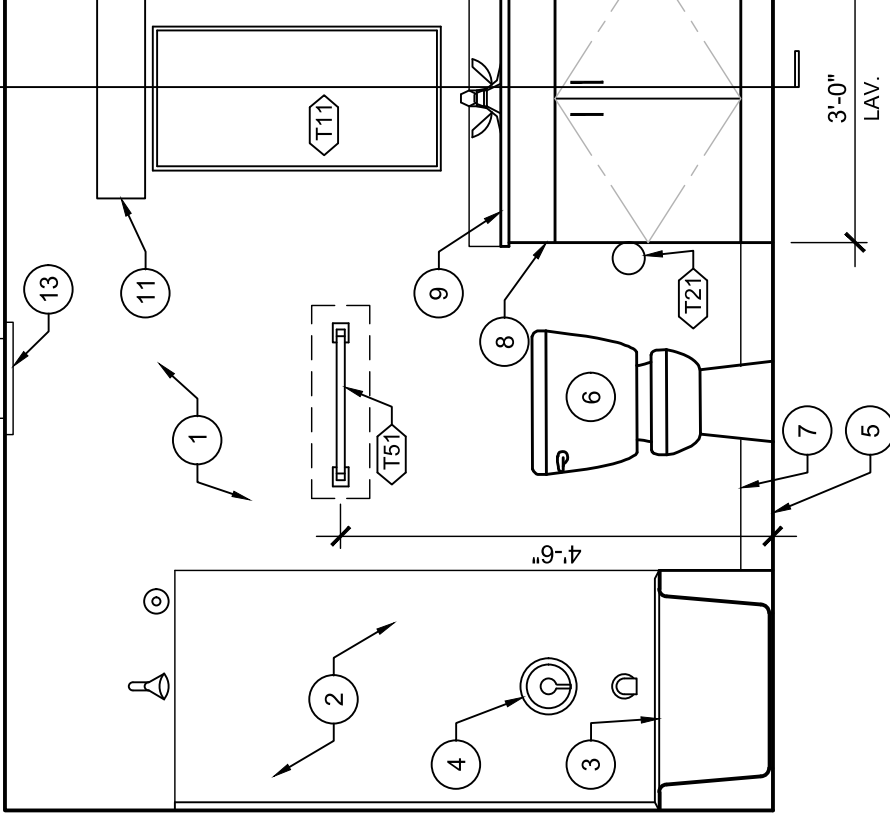
UNFINISHED  
BASEMENT  
002

L.C.





A

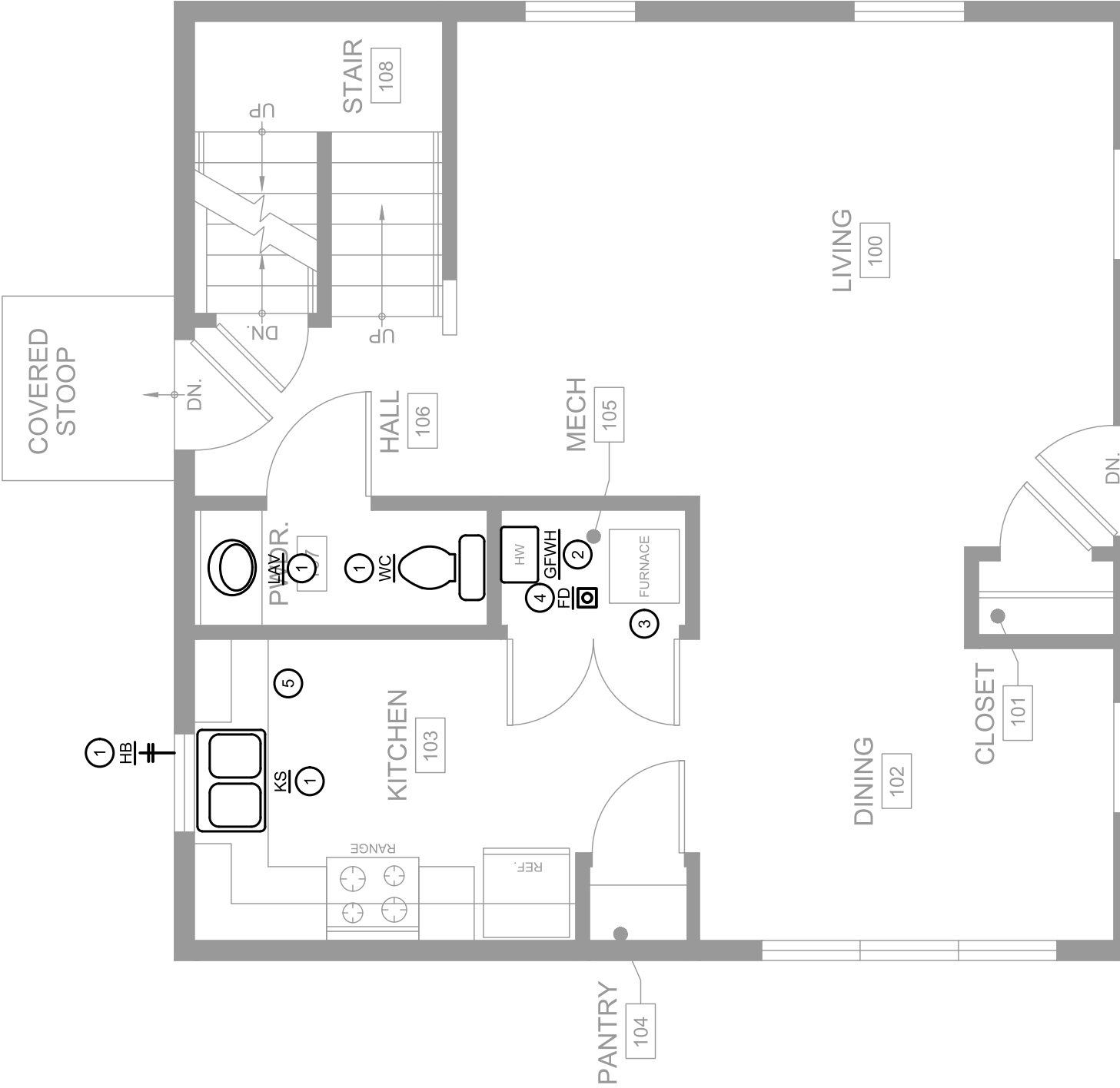


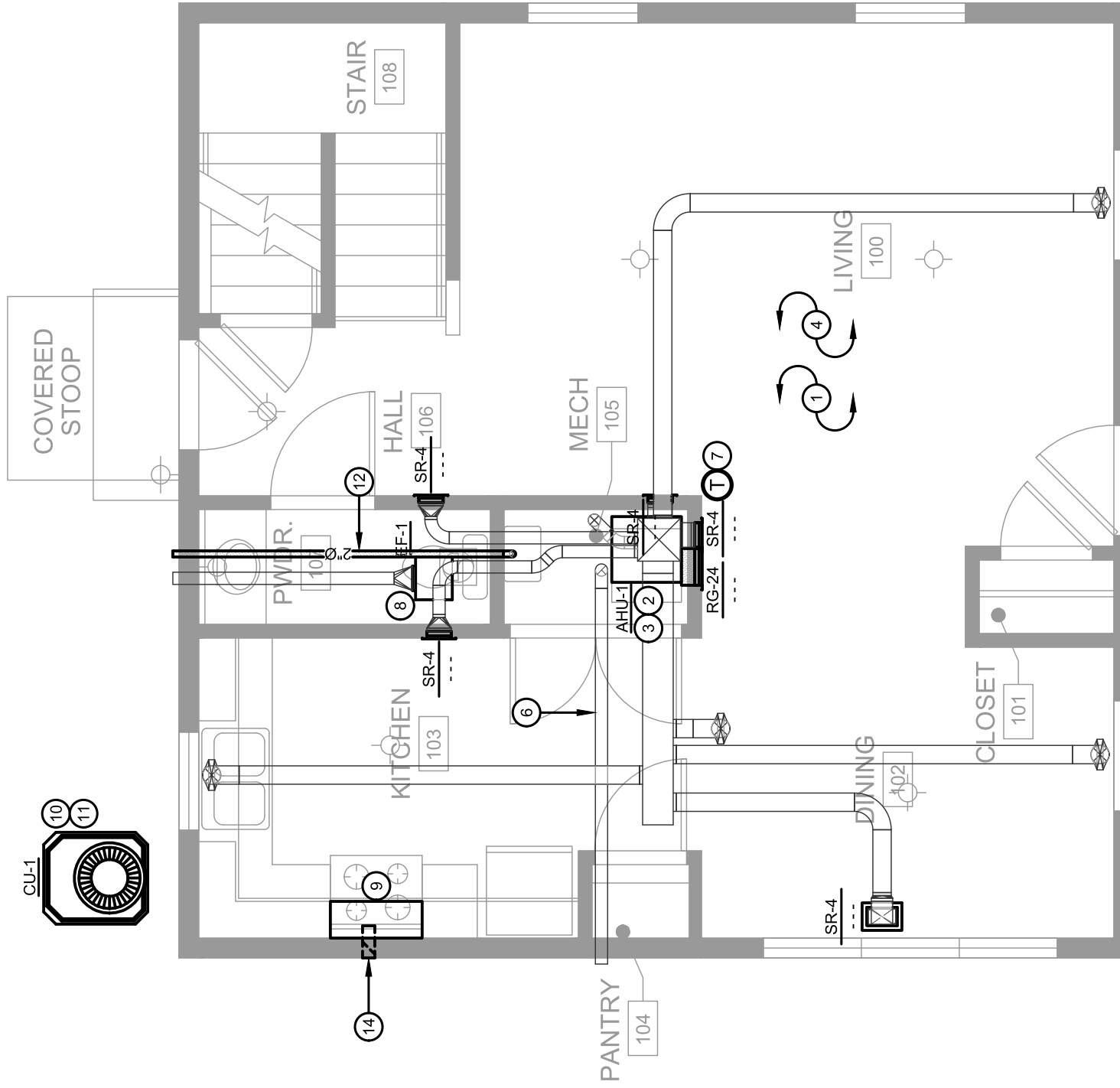
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# INTERIOR ELEVATIONS AT BATH 205

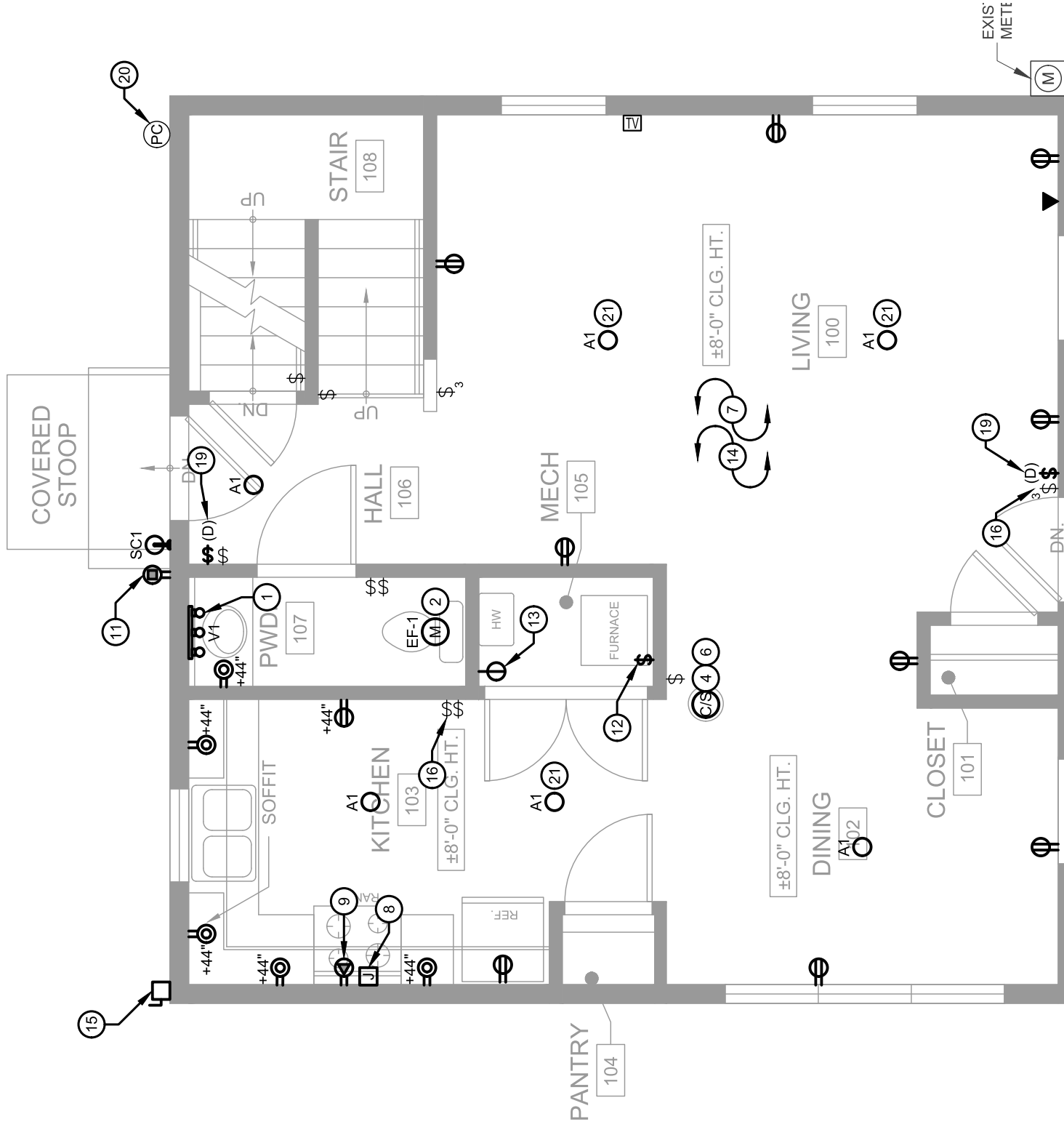
SCALE: 1/2" = 1'-0"











Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	40	2
3		
5	15	1
7	15	1
9	15	1
11	15	1
13	15	1
15	15	1
17	15	1
19	15	1
21	15	1
23	15	1
<b>Total Connected Load P</b>		<b>Total Connected Load P</b>
<b>Total Connected Load P</b>		<b>Total Connected Load P</b>

# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS: ENVIRONMENTAL CONSULTANT:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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## SHEET INDEX

317 INDIANA AVE. [SITE 13]

13-G1.1	PROJECT INFORMATION
13-G1.2	SCHEDULES
13-G1.3	TYPICAL DETAILS
13-G1.4	TYPICAL DETAILS
13-G1.5	GENERAL PROJECT NOTES
13-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR FLOOR PLANS
13-A1.1	INTERIOR ELEVATIONS
13-A3.1	PLUMBING PLAN
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13-M1.1	ELECTRICAL PLAN
13-E1.1	ELECTRICAL SCHEDULES & NOTES
13-E5.1	

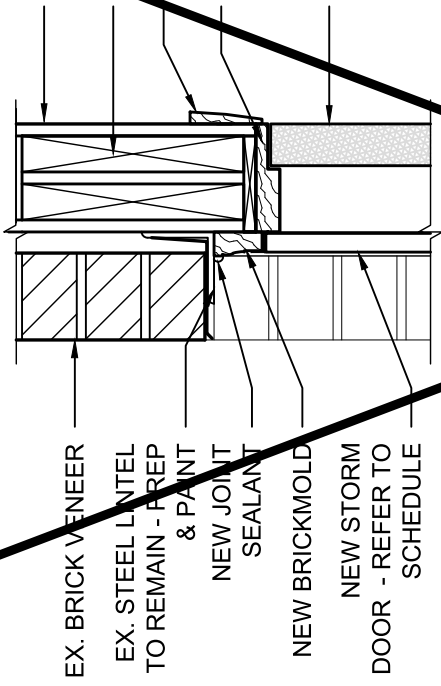
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	DINING	F-1	B-1	W-1	C-1	
103	POWDER	F-1	B-1	W-1	C-1	-
104	KITCHEN	F-1	B-1	W-1	C-1	-
105	LAUNDRY	F-1	B-1	W-1	C-1	-
106	PANTRY	F-1	B-1	W-1	C-1	-
107	BEDROOM 1	F-1	B-1	W-1	C-1	-
108	CLOSET	F-1	B-1	W-1	C-1	-
109	HALL	F-1	B-1	W-1	C-1	-
110	BATH	F-1	B-1	W-1	C-1	-
111	LINEN	F-1	B-1	W-1	C-1	-
112	MECHANICAL	F-1	B-1	W-1	C-1	-
113	BEDROOM 2	F-1	B-1	W-1	C-1	-
114	CLOSET	F-1	B-1	W-1	C-1	-
115	BEDROOM 3	F-1	B-1	W-1	C-1	-
116	CLOSET	F-1	B-1	W-1	C-1	-
117	GARAGE	EX.	-	-	-	-

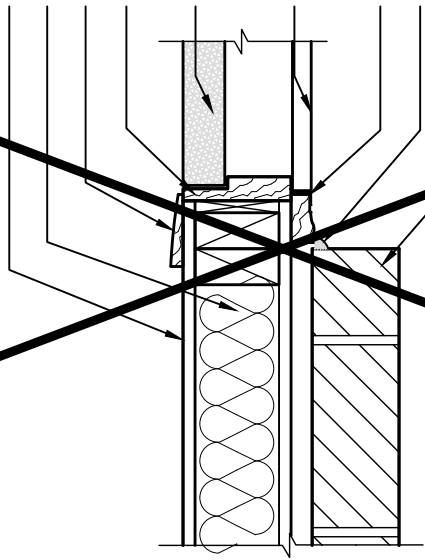
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.

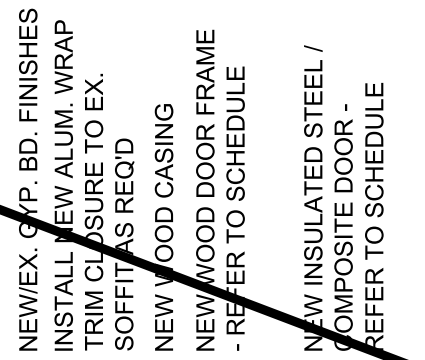
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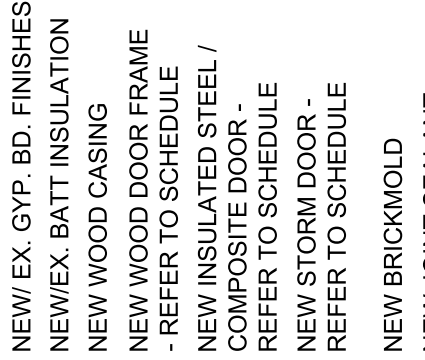
HEAD



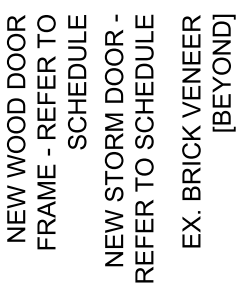
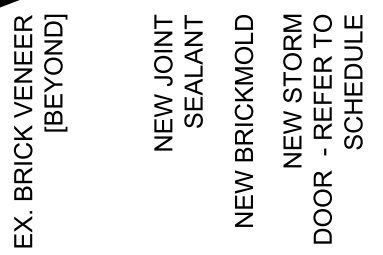
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PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS WHICH ARE DISCOVERED ARE AS SHOWN ON ARCHITECT IMMEDIATELY, BEFORE COMMENCING WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO TAKE ACTION. DOCUMENTS SHALL BE ANALYZED AND CORRECTED PRIOR TO CONTRACTOR IF THEY ARE NOT ACCURATE. PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND CONTRACTORS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.5.1. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS WHICH ARE DISCOVERED ARE AS SHOWN ON ARCHITECT IMMEDIATELY, BEFORE COMMENCING WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO TAKE ACTION. DOCUMENTS SHALL BE ANALYZED AND CORRECTED PRIOR TO CONTRACTOR IF THEY ARE NOT ACCURATE. PROCEEDING WITH WORK.
  - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN VERIFICATION OF ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS WHICH ARE DISCOVERED ARE AS SHOWN ON ARCHITECT IMMEDIATELY, BEFORE COMMENCING WORK OR JOB CONDITIONS (INCLUDING MATERIALS) ARISE AND CAUSE THE CONTRACTOR TO TAKE ACTION. DOCUMENTS SHALL BE ANALYZED AND CORRECTED PRIOR TO CONTRACTOR IF THEY ARE NOT ACCURATE. PROCEEDING WITH WORK.
  - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF WEAR, DAMAGE, OR ANY OTHER DEFECTS, OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES, SHALL BE REPAIR OR REPLACED IMMEDIATELY.



EX. SHINGLE ROOF SYSTEM TO REMAIN

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT TO REMAIN.

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

REMOVE EX., INSTALL NEW ADDRESS NUMBER

REMOVE EX., INSTALL NEW EXTERIOR LIGHT FIXTURES

REMOVE EX., INS NEW CONC. SIDEWALK BETWEEN PORCH & DRIVE

EX. ALUM. GUTTERS & DOWNSPOUTS TO REMAIN

EX. VINYL WINDOWS TO REMAIN

REMOVE EX. LANDSCAPING & OVERGROWTH FROM AROUND BUILDING - RESTORE IMPACTED AREAS W/ TOPSOIL & SEED

REMOVE EX., INSTALL NEW CONC. SIDEWALK BETWEEN PORCH & PUBLIC SIDEWALK

NORTH ELEVATION



EX. SHINGLE ROOF SYSTEM TO REMAIN

EX. ALUM. WRAP RAKE/FASCIA & NEW VENTED VINYL SOFFIT TO REMAIN.

EX. ALUM. GUTTERS & DOWNSPOUTS TO REMAIN

EX. VINYL LAP SIDING TO REMAIN - CLEAN / PRESSURE WASH

REMOVE EX., INSTALL NEW EXTERIOR DOORS, FRAMES, HARDWARE.

#

### NEW CONSTRUCTION KEY NOTES

1. INSTALL NEW PASSIVE RADON SYSTEM. DELEGATED DESIGN BY OTHERS. REFER TO A/G1.4
2. MODIFY EXISTING OPENING AS REQUIRED FOR SCHEDULED DOOR - MATCH ADJACENT CONSTRUCTION.
3. INSTALL NEW ACCESS PANEL.
4. NEW 2x4 WALL TO ACCOMMODATE NEW ROLL-IN SHOWER. - COORDINATE ROUGH-INS FOR SHOWER.
5. F.V. & ADJUST WATER CLOSET TO BE 18" FROM FINISH SIDE WALL OF BATHROOM.
6. NEW 2x4 WALL TO CREATE FALSE BACK TO CLOSET.
7. MODIFY EXISTING OPENING AS REQUIRED TO CREATE NEW CASED OPENING.

#

### RCP KEY NOTES

1. NEW LIGHT FIXTURE IN NEW LOCATION. INSTALL NEW BRANCH CIRCUITRY. CUT/PATCH/REPAIR GYP. BD. WALLS & CEILING AS REQUIRED BY WORK. LIGHT FIXTURES TO BE CENTERED IN ROOM U.N.O.
2. NEW LIGHT FIXTURE IN EXISTING LOCATION. CONNECT TO EXISTING BRANCH CIRCUITRY.
3. EXISTING GYPSUM BOARD CEILING TO REMAIN. SKIM ENTIRE CEILING TO PROVIDE A SMOOTH SURFACE [CONTRACTOR ALTERNATE - OVERLAY CEILING WITH NEW GYP. BD.] REPAIR AS REQUIRED BY EXISTING CONDITIONS. PREP / PAINT.
4. EXISTING GYPSUM BOARD SOFFIT TO REMAIN. REPAIR AS REQUIRED BY EXISTING CONDITIONS. PREP / PAINT.
5. EXISTING ATTIC ACCESS PANEL TO REMAIN. PREP / PAINT.
6. NEW CEILING MOUNTED EXHAUST FAN.

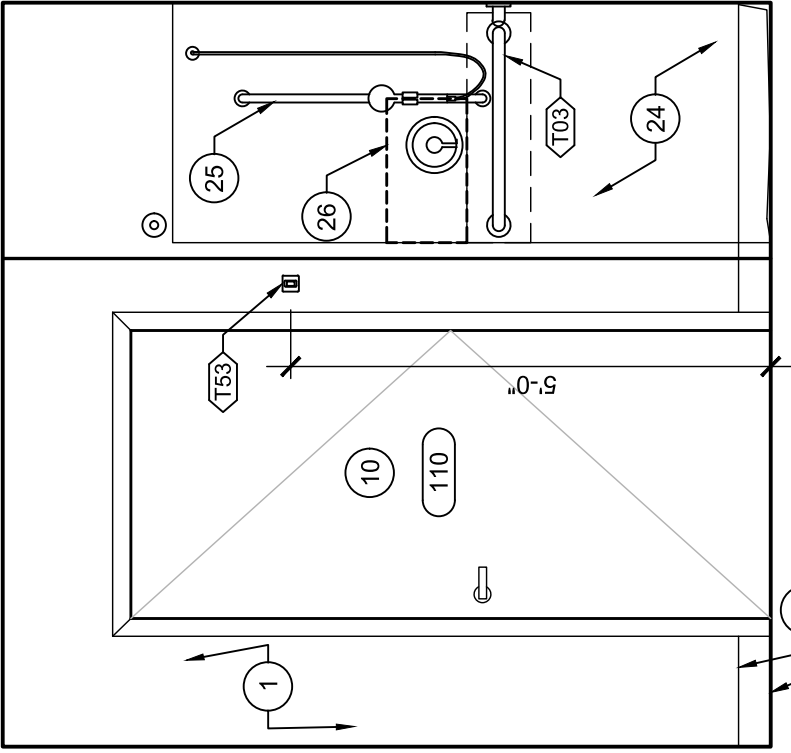
### REFLECTED CEILING PLAN - SYMBOL LEGEND

- CEILING MTD. LIGHT FIXTURE. REFER TO ELEC. DWG.
- RECESSED LIGHT FIXTURE. REFER TO ELEC. DWG.
- ⊕- WALL MTD. LIGHT FIXTURE. REFER TO ELEC. DWG.
- (SD) SMOKE DETECTOR - 120V W/ BATTERY BACKUP. REFER TO ELEC. DWG.
- (C/S) COMBINATION SMOKE/CO<sub>2</sub> DETECTOR - 120V W/ BATTERY BACKUP. REFER TO ELEC. DWG.
- ⊕ EXHAUST FAN - VENT DIRECT TO EXTERIOR. REFER TO MECH. DWG.

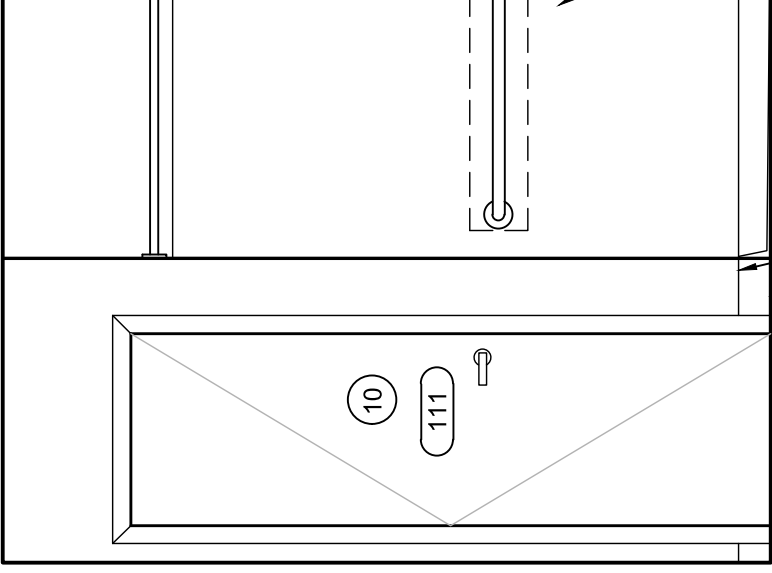
### ROOF GENERAL NOTES:

1. ALL ROOF PITCHES ARE AS NOTED ON PLAN





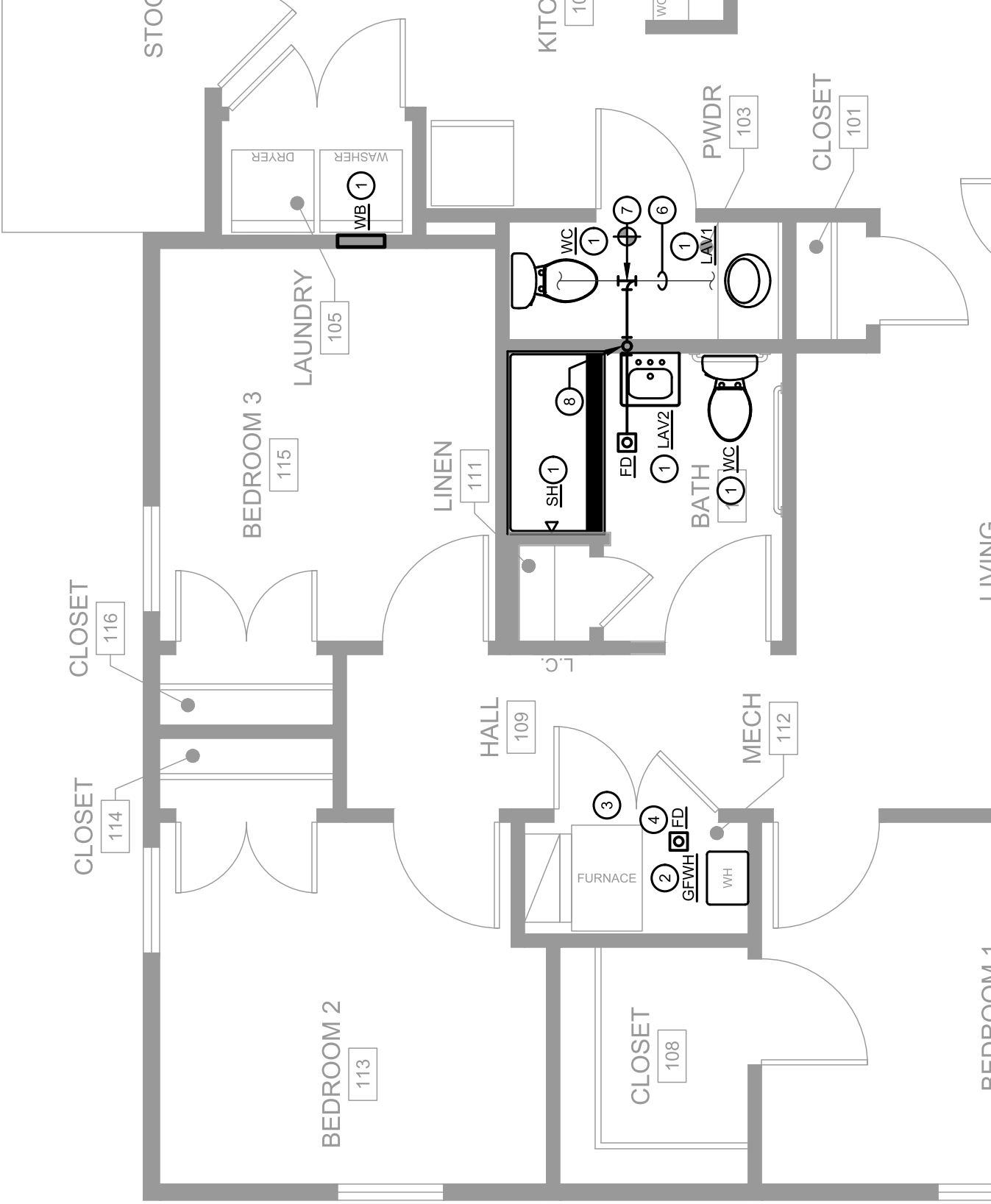
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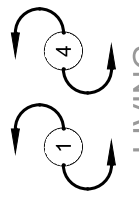
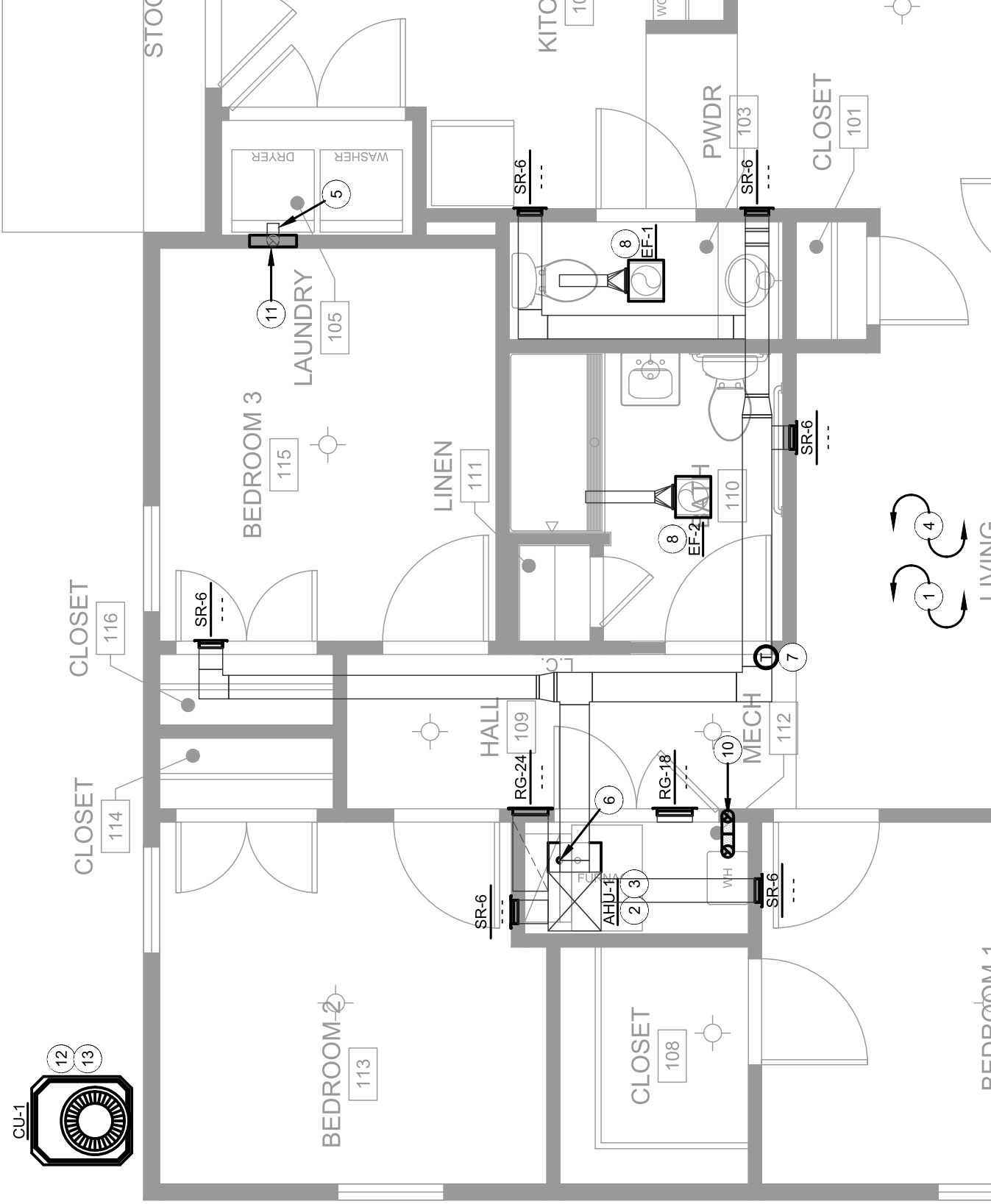


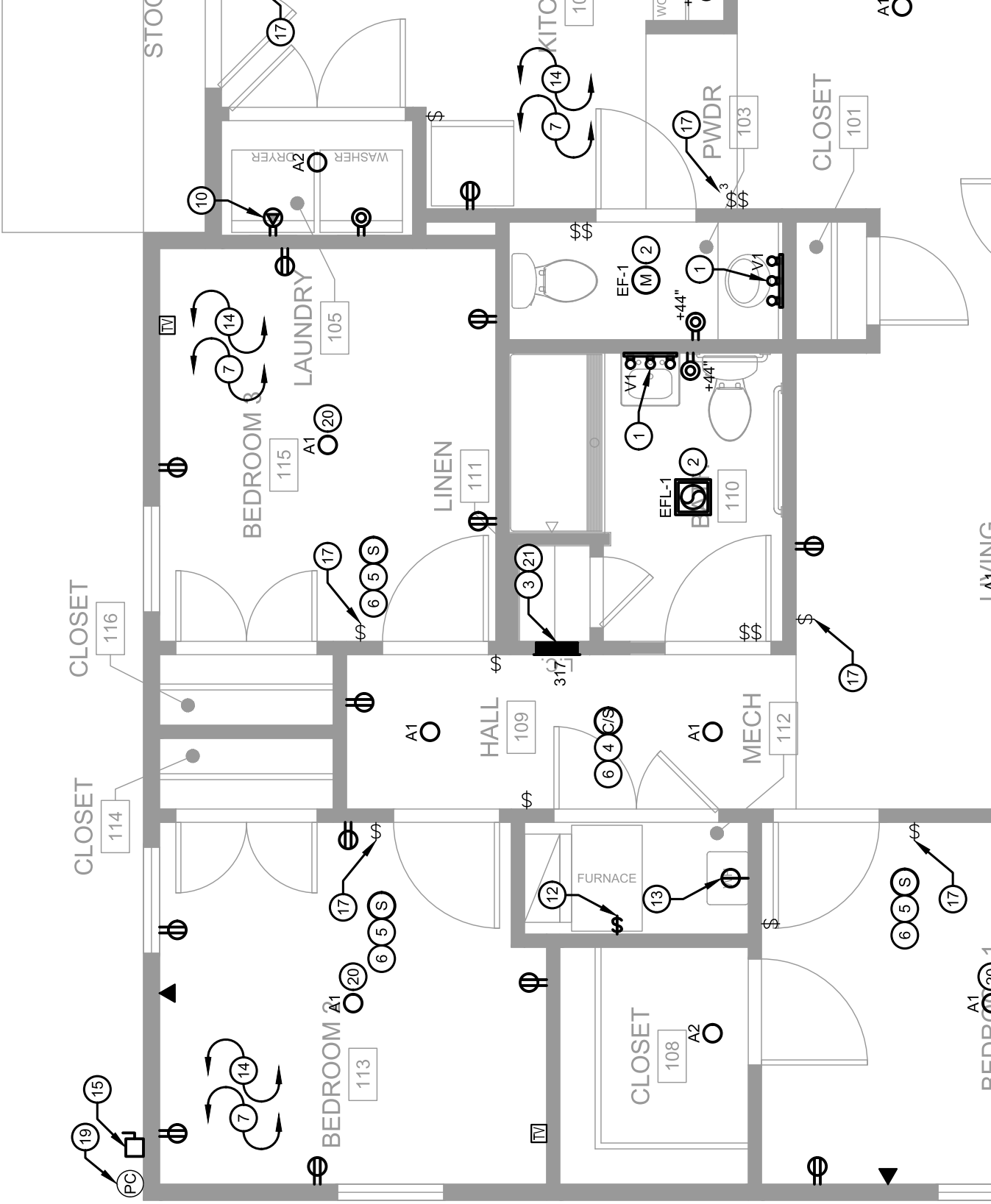
B

# INTERIOR ELEVATIONS AT BATH 110

SCALE: 1/2" = 1'-0"







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	30	1
3	20	2
5		
7	20	1
9	20	1
11	15	1
13	15	1
15	20	1
17	20	1
19	20	1
21	15	1
23	15	1
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>

# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

## SHEET INDEX

350 E. JOHN ST. [SITE 14]

14-G1.1	PROJECT INFORMATION
14-G1.2	SCHEDULES
14-G1.3	TYPICAL DETAILS
14-G1.4	TYPICAL DETAILS
14-G1.5	GENERAL PROJECT NOTES
14-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
14-D1.1	EXISTING / DEMOLITION FLOOR PLANS
14-A1.1	PROPOSED FLOOR PLANS
14-A1.2	REFLECTED CEILING PLANS
14-A3.1	INTERIOR ELEVATIONS
14-P1.1	PLUMBING PLAN
14-M1.1	MECHANICAL PLAN
14-E1.1	ELECTRICAL PLAN
14-E5.1	ELECTRICAL SCHEDULES & NOTES

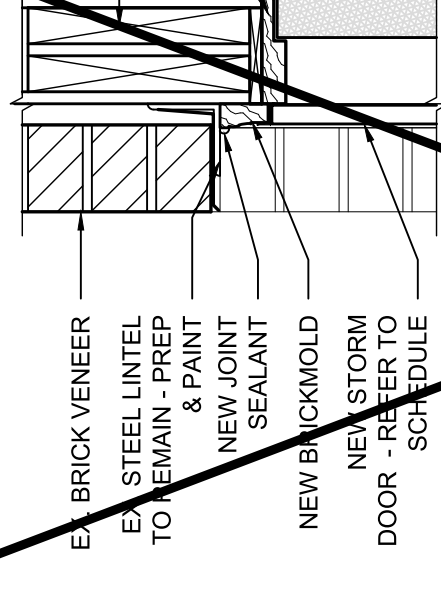
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	POWDER	F-1	B-1	W-1	C-1	-
103	MECHANICAL	F-1	B-1	W-1	C-1	-
104	HALL	F-1	B-1	W-1	C-1	-
105	DINING	F-1	B-1	W-1	C-1	-
106	KITCHEN	F-1	B-1	W-1	C-1	-
107	PANTRY	F-1	B-1	W-1	C-1	-
108	STORAGE	EX	B-1	W-1	C-1	-
201	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
202	BEDROOM 1	F-1	B-1	W-1	C-1	-
203	CLOSET	F-1	B-1	W-1	C-1	-
204	HALL	F-1	B-1	W-1	C-1	-
205	LAUNDRY	F-1	B-1	W-1	C-1	-
206	BATH	F-1	B-1	W-1	C-1	-
207	BEDROOM 2	F-1	B-1	W-1	C-1	-
208	CLOSET	F-1	B-1	W-1	C-1	-

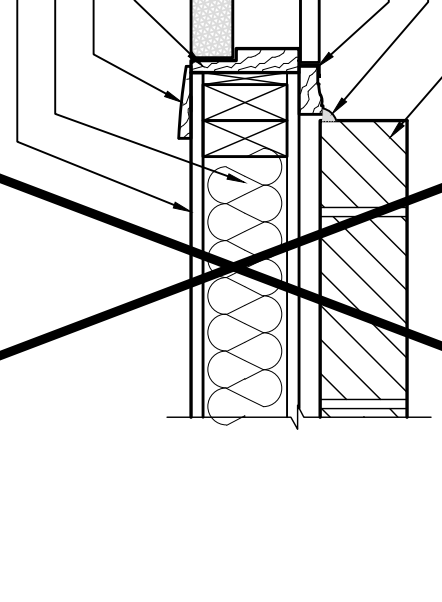
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

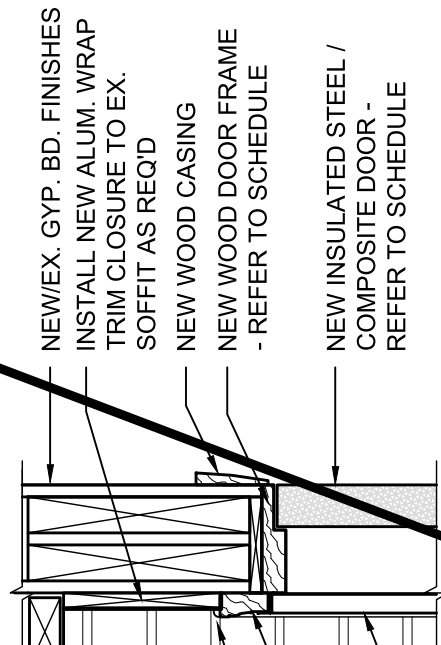
NOTE: FIELD VERIFY EXISTING WALL THICKNESS  
 DOOR JAMB DIMENSION TO MATCH, TYP.



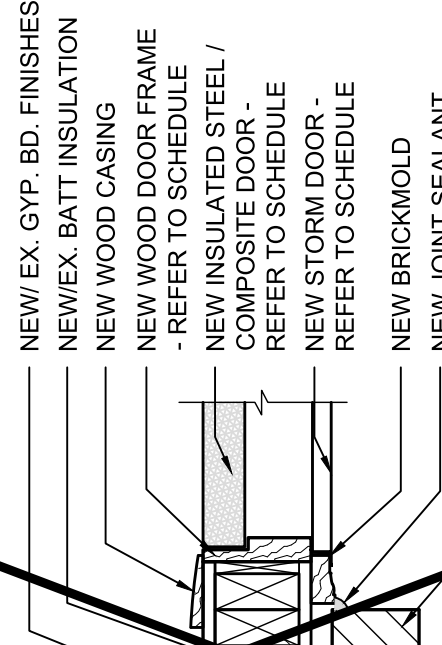
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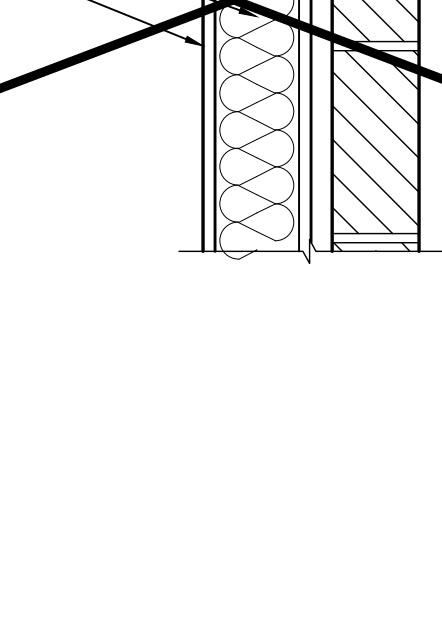
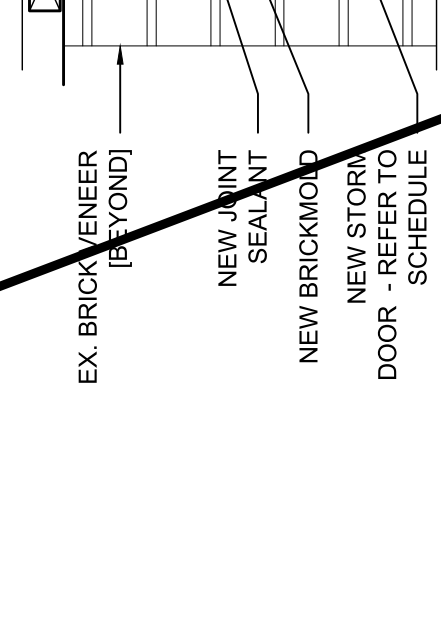
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PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES  
[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR] [CONCRETE SLAB]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT.

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  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT OR JOB CONDITIONS (INCLUDING PERMITS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT, IF ANY QUESTIONS OR DISCREPANCIES ARE IDENTIFIED BY CONSULTANTS, OR REGULATORY AGENCIES. ALL CHANGES IN WORK SHALL BE APPROVED BY THE ARCHITECT AND NON APPROVALS DUE TO SUCH CHANGES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. INVESTIGATIVE WORK BE REQUIRED TO VERIFY ALL CONDITIONS, THE CONTRACTOR SHALL CORRECT IMMEDIATELY. ENGINEERING MODIFICATIONS IN THESE DOCUMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL
    - 1.1.7. ANY PART OR PARTS OF THE PROJECT THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES. SHALL BE RESPONSIBLE FOR VERIFYING ALL



EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM. SOFFIT,  
TO REMAIN

EX. SHINGLE ROOF  
SYSTEM TO REMAIN

EX. VINYL SIDING TO  
REMAIN - CLEAN /  
PRESSURE WASH

REMOVE EX., INSTALL  
NEW EXTERIOR LIGHT  
FIXTURES

EX. ALUM. GUTTERS &  
DOWNSPOUTS TO  
REMAIN

EX. WINDOWS TO  
REMAIN - REPLACE ANY  
BROKEN GLAZING /  
SASHES

REMOVE EX., INSTALL  
NEW EXTERIOR DOOR  
FRAMES, & HARDWARE

REMOVE EX.  
LANDSCAPING  
COMPLETE - RESTORE  
SITE AS REQ'D

EX. WINDOW  
REMAIN - REPLACE  
BROKEN GLAZING  
SASHES

SOUTH ELEVATION

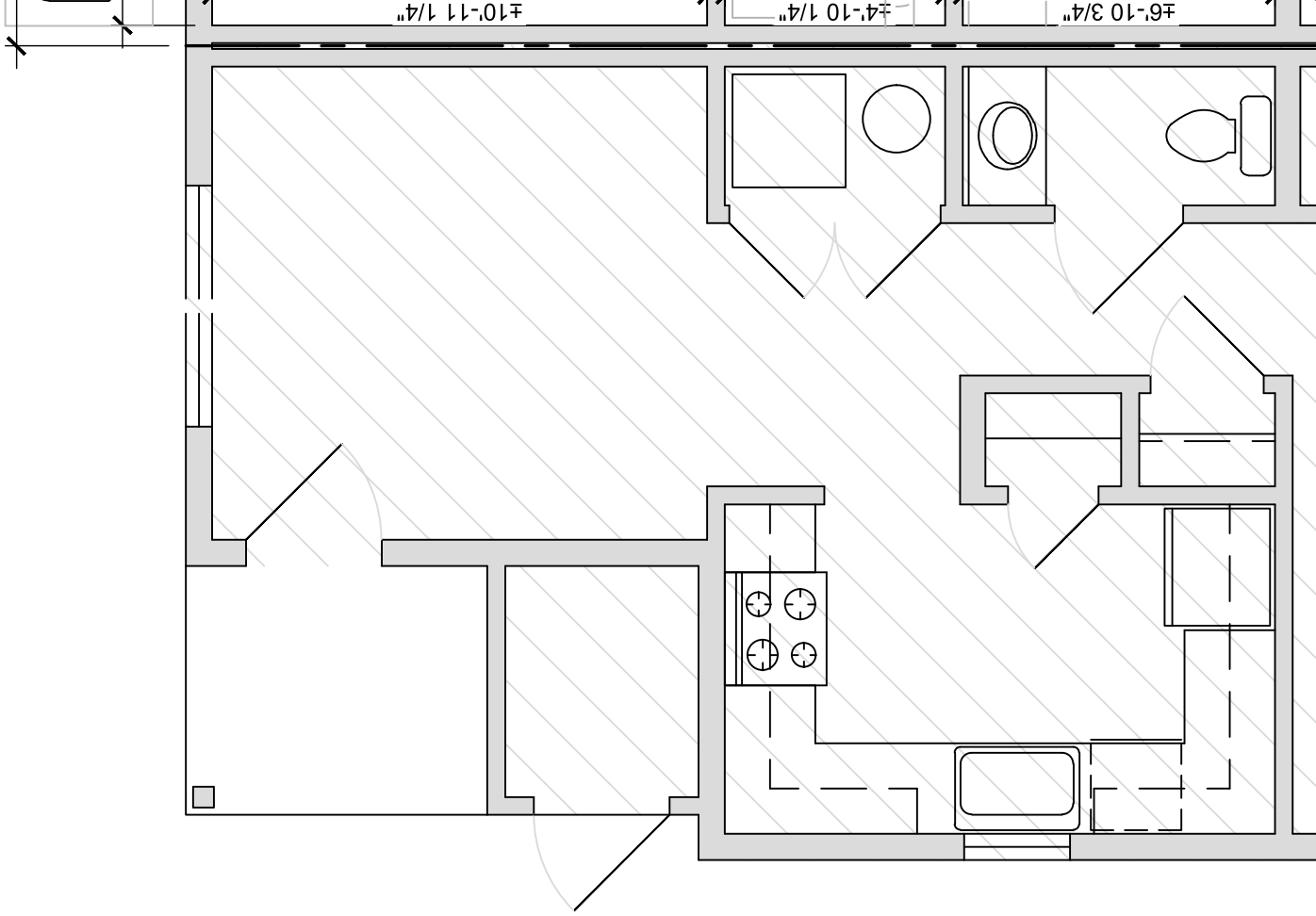


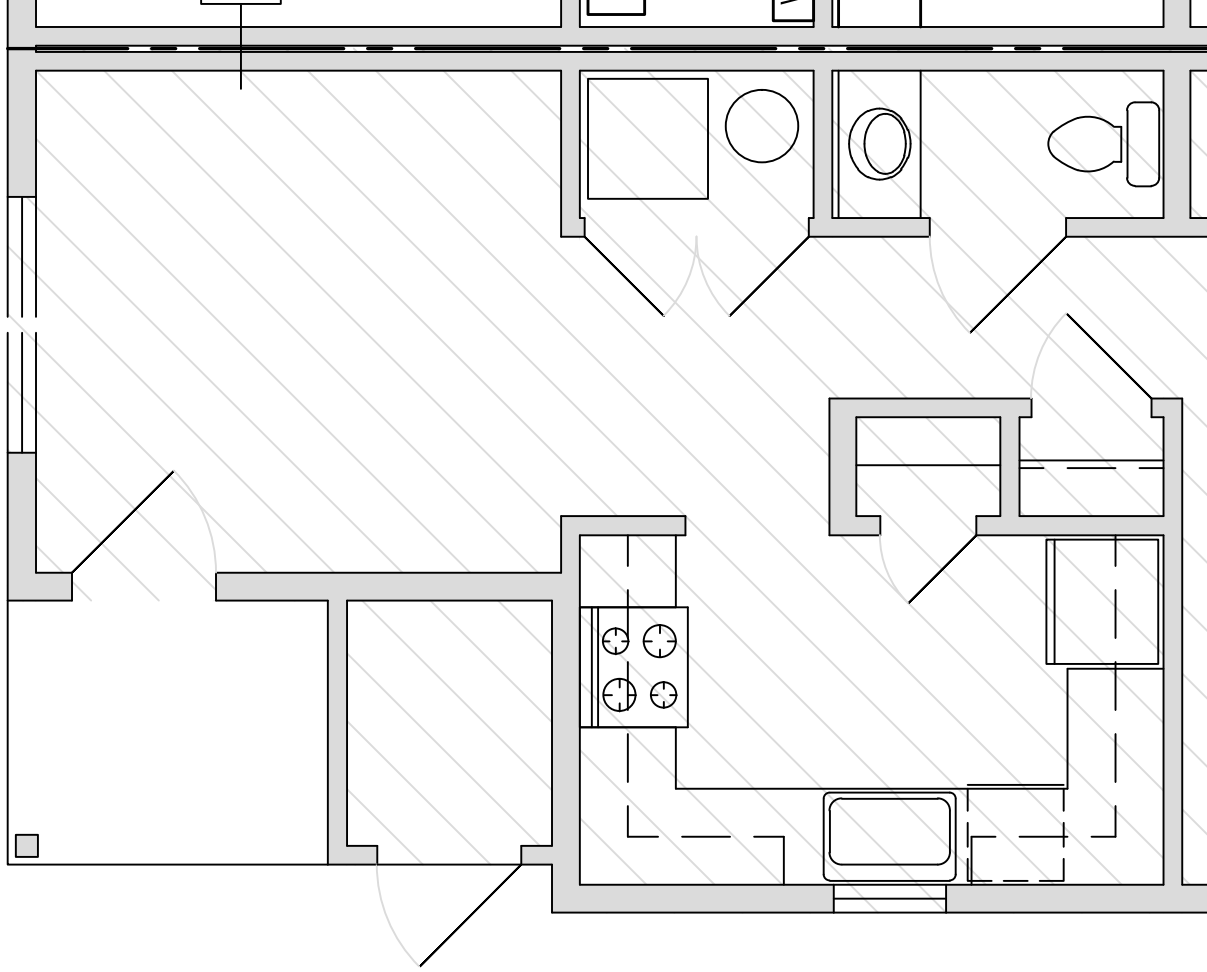
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SYSTEM TO REMAIN

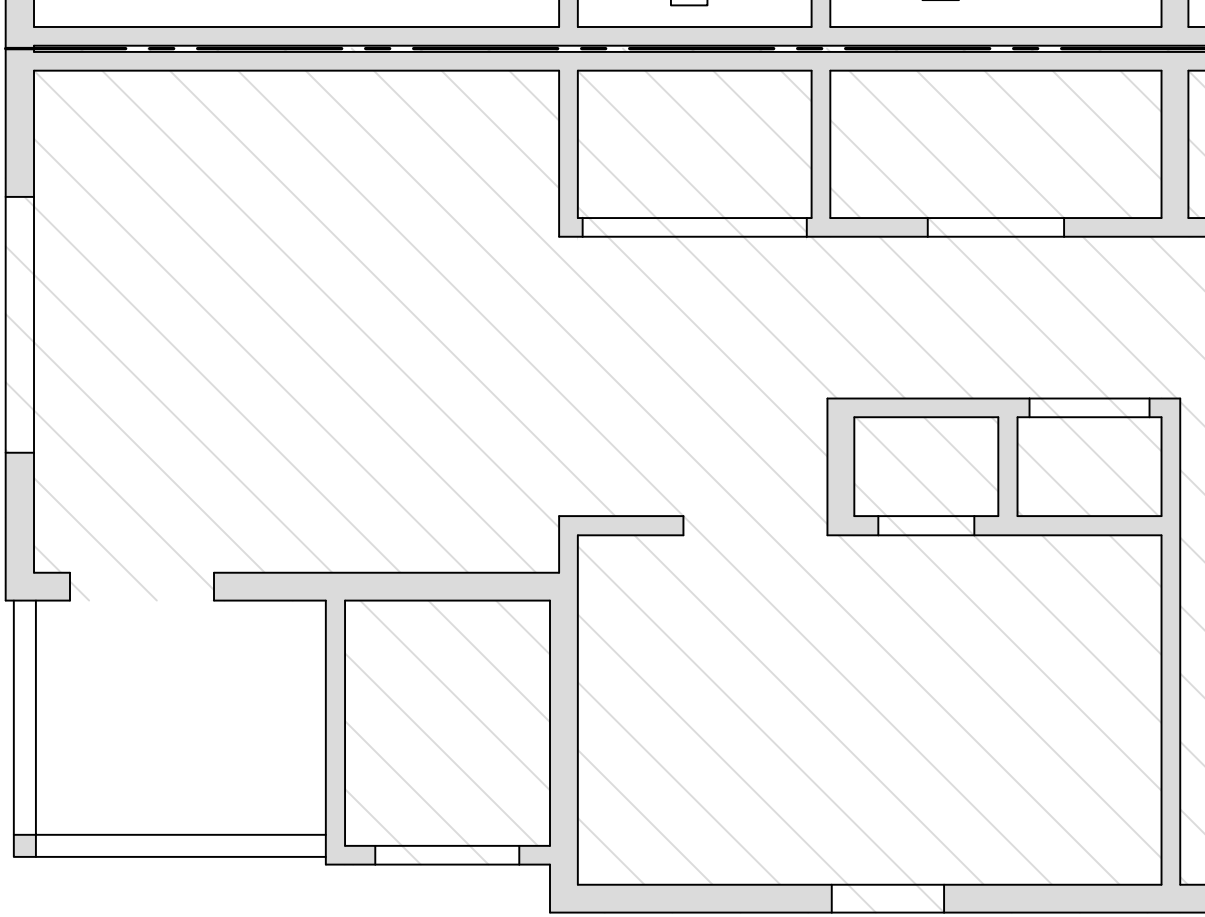
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RAKE/FASCIA & EX.  
VENTED ALUM.  
SOFFIT, TO REMAIN

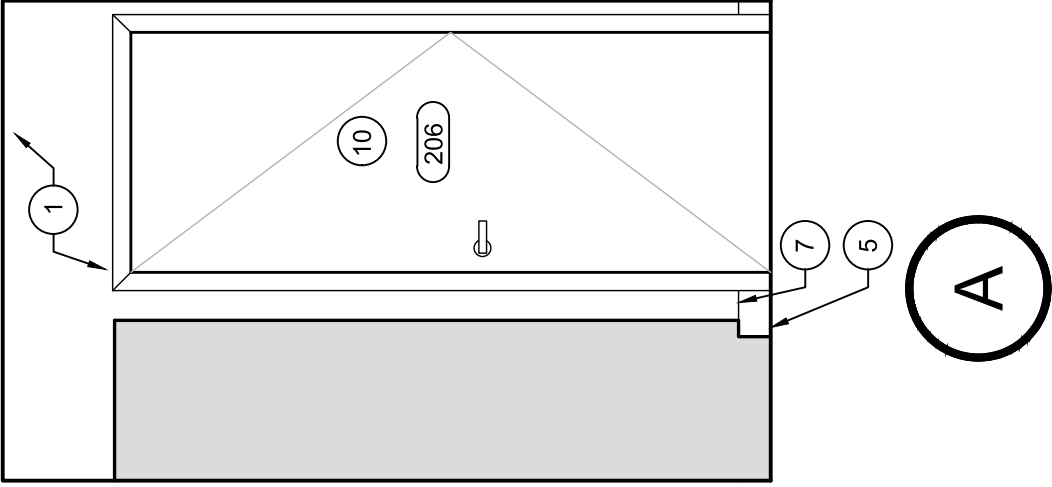
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DOWNSPOUTS TO  
REMAIN

EX. VINYL SIDING TO  
REMAIN - CLEAN /  
PRESSURE WASH

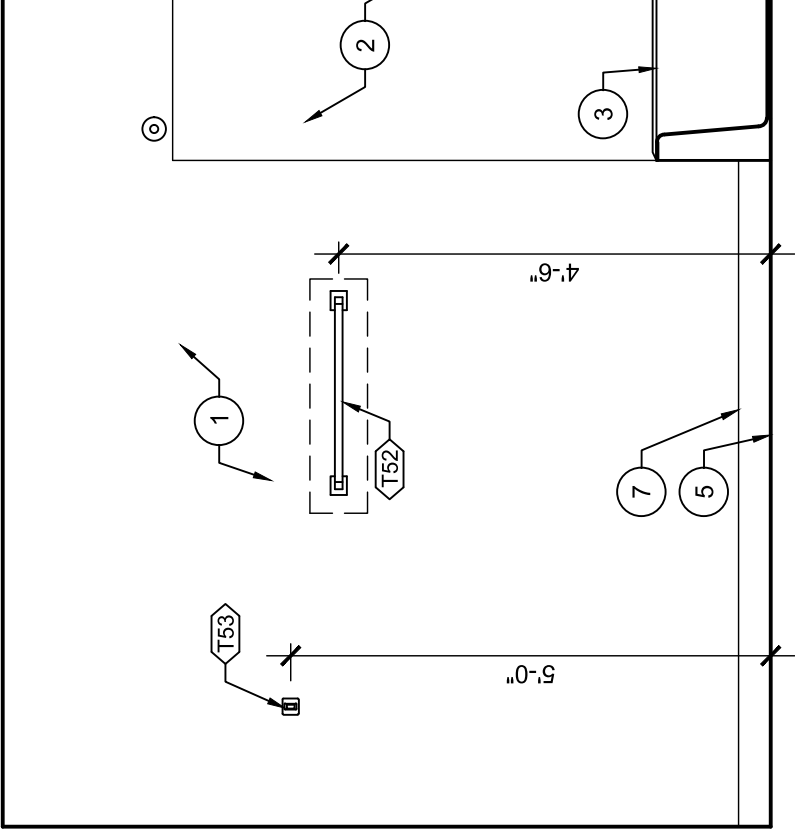








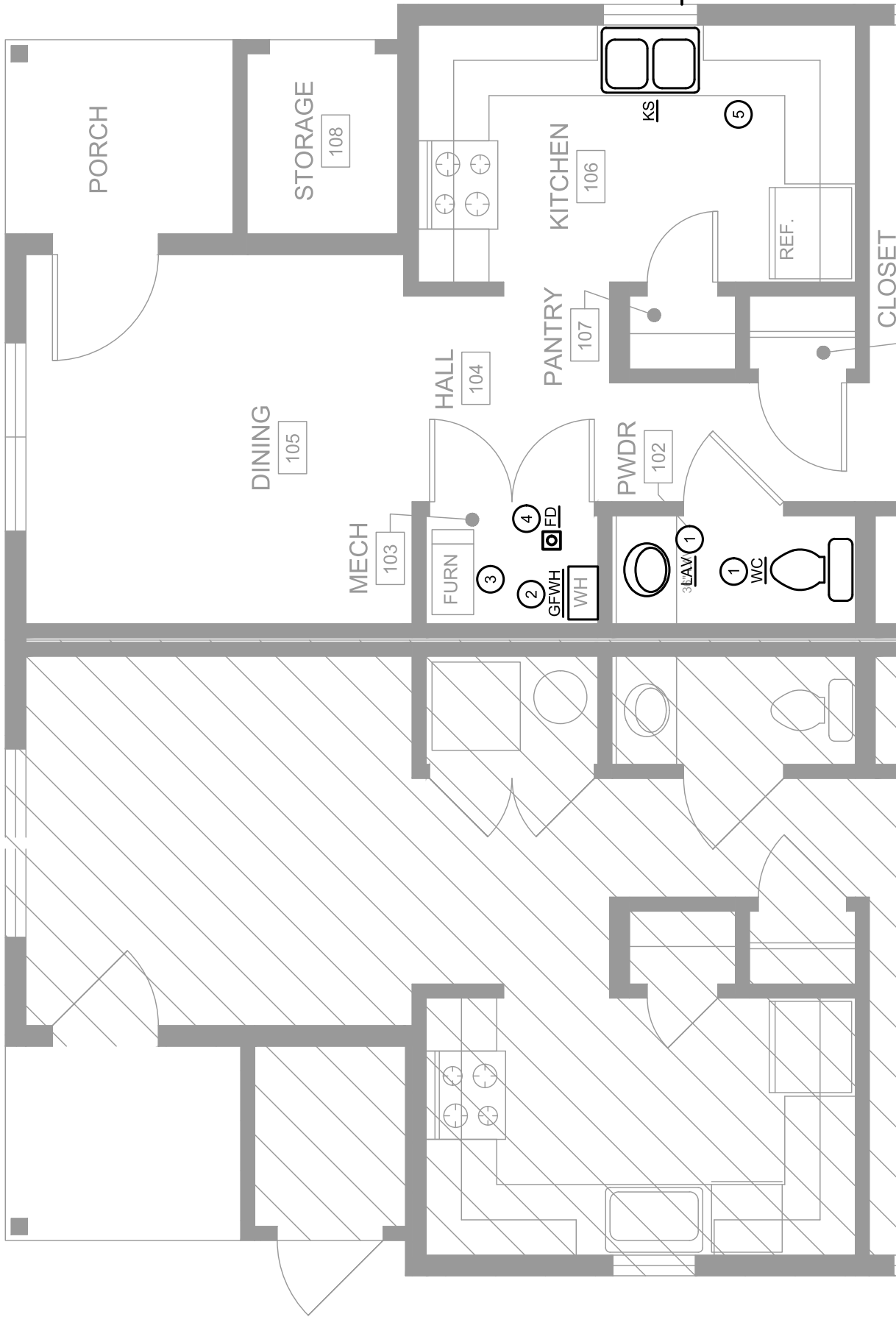
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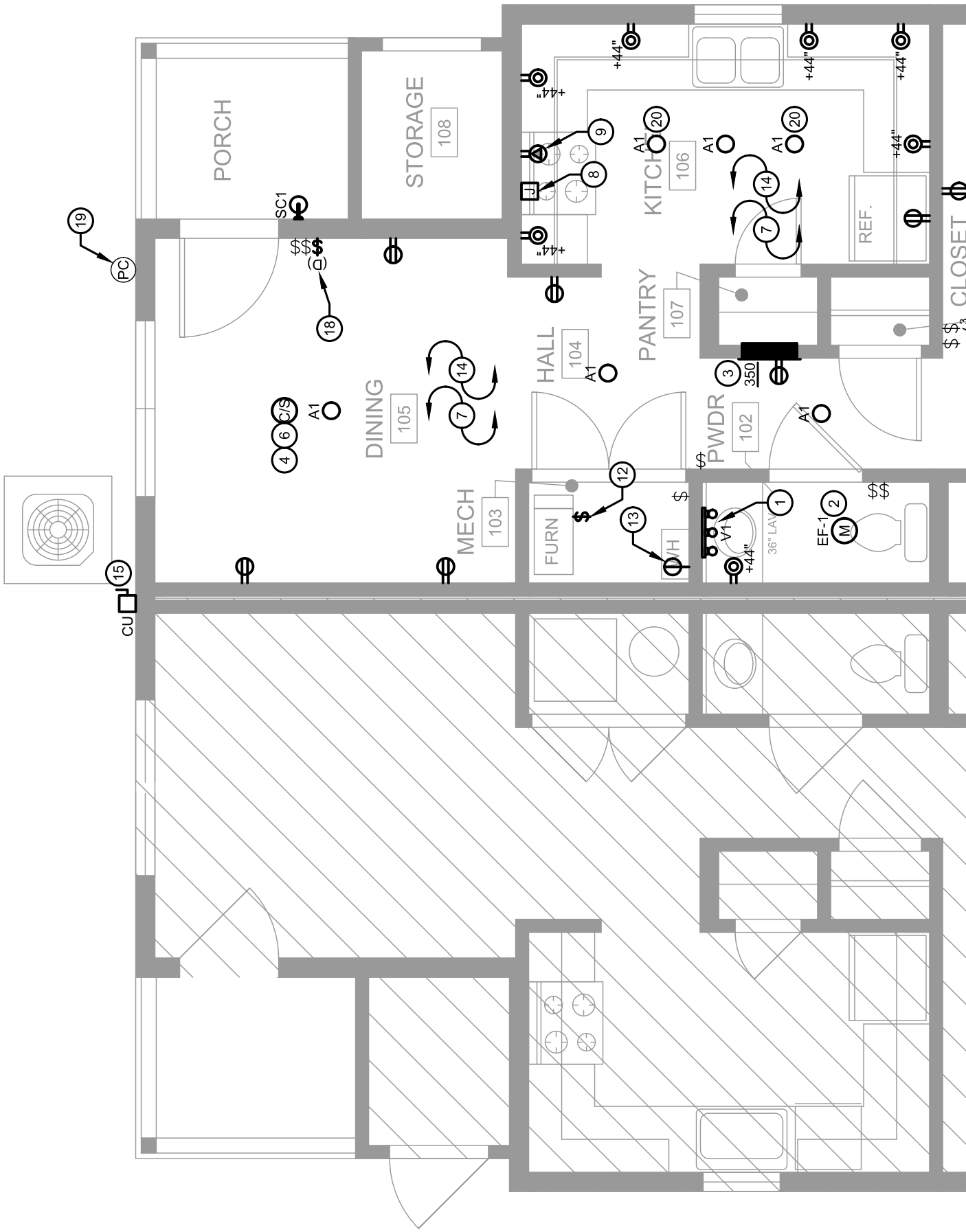
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# INTERIOR ELEVATIONS AT BATH 206

SCALE: 1/2" = 1'-0"







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	30	2
3		
5	20	2
7		
9	20	1
11	20	1
13	20	1
15	20	1
17	20	1
19	15	1
21		
23		
<b>Total Connected Load P</b>		
<b>Total Connected Load P</b>		

# Scatter Springf

## PROJECT TEAM

---

### ARCHITECT:



**PME ENGINEERS: ENVIRONMENTAL  
CONSULTANT:**



**E2M CONSULTING ENGINEERING**  
682 LUXEDO PLACE  
CINCINNATI, OH 45206  
TEL: 513.587.0050  
www.e2m-eng.com



**M.A.C. PARAN CONSULTING  
SERVICES, INC.**  
3959 FUJITON GROVE RD

## SHEET INDEX

2010 HURON AVE. [SITE 15]

15-G1.1 PROJECT INFORMATION

15-G1.2 SCHEDULES

15-G1.3 TYPICAL DETAILS

15-G1.4 TYPICAL DETAILS

15-G1.5 GENERAL PROJECT NOTES

15-C1.1 ARCHITECTURAL SITE PLAN / EXTERIOR F

15-D1.1 EXISTING / DEMOLITION FLOOR PLANS

15-A1.1 PROPOSED FLOOR PLANS

15-A1.2 REFLECTED CEILING PLANS

15-A3.1 INTERIOR ELEVATIONS

15-P1.1 PLUMBING PLAN

15-M1.1 MECHANICAL PLAN

15-E1.1 ELECTRICAL PLAN

05-E5.1 ELECTRICAL SCHEDULES & NOTES

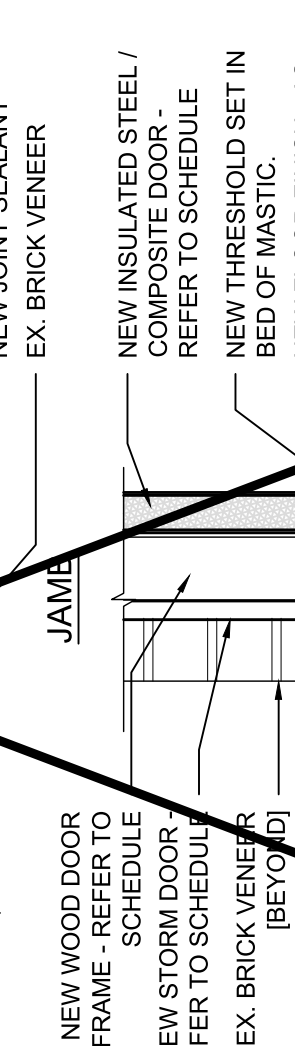
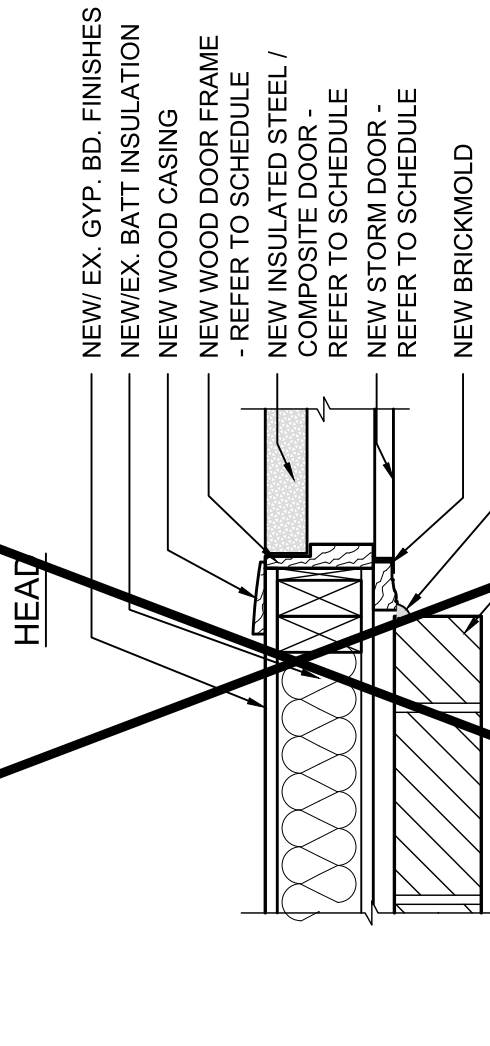
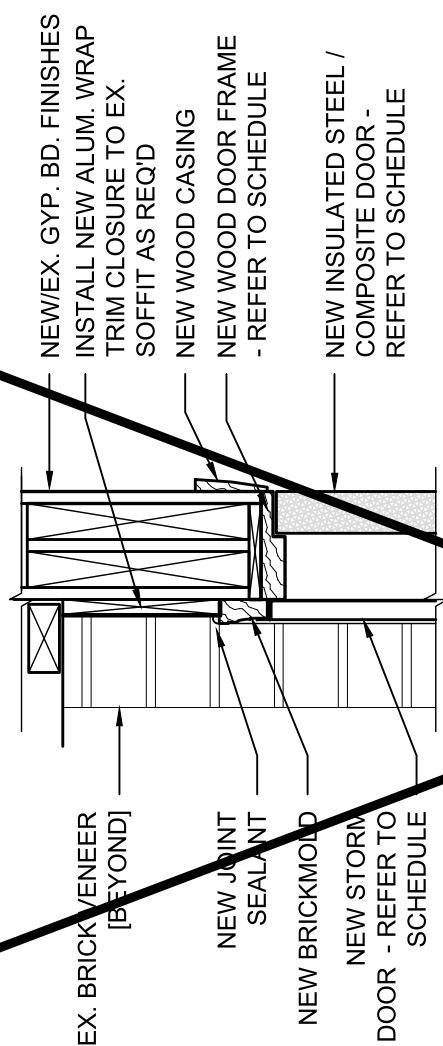
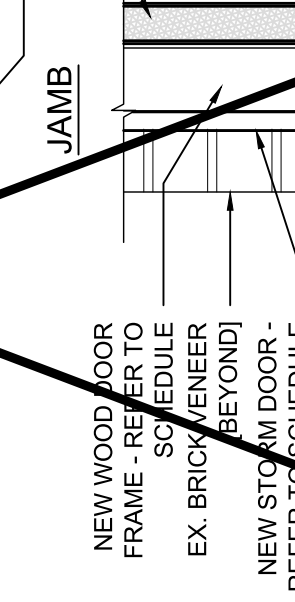
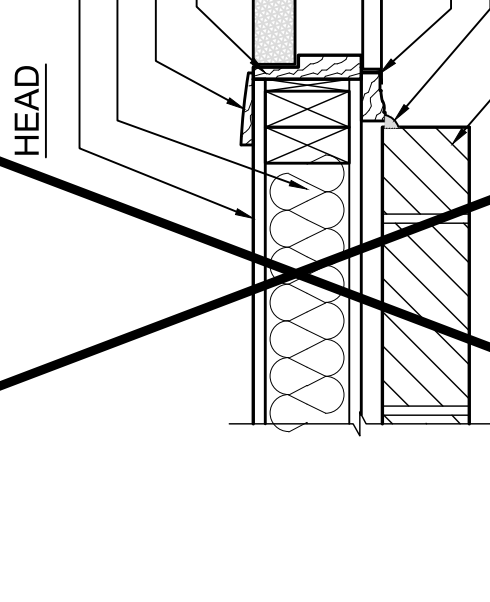
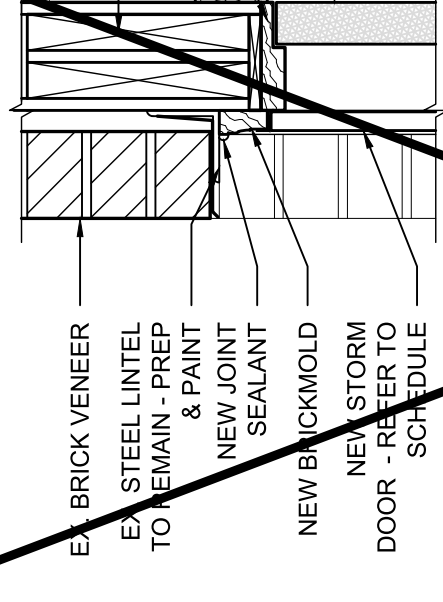
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	UNFINISHED BASEMENT	EX.	EX.	EX.	EX.	-
002	STAIR	EX.	EX.	EX.	EX.	-
100	LIVING	F-1	B-1	W-1	C-1	-
101	CLOSET	F-1	B-1	W-1	C-1	-
102	DINING	F-1	B-1	W-1	C-1	-
103	KITCHEN	F-1	B-1	W-1	C-1	-
104	PANTRY	F-1	B-1	W-1	C-1	-
105	MECHANICAL	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	POWDER	F-1	B-1	W-1	C-1	-
108	STAIR	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
200	HALL	F-1	B-1	W-1	C-1	-
201	BEDROOM 1	F-1	B-1	W-1	C-1	-
202	CLOSET	F-1	B-1	W-1	C-1	-
203	LAUNDRY	F-1	B-1	W-1	C-1	-
204	LINEN	F-1	B-1	W-1	C-1	-
205	BATH	F-1	B-1	W-1	C-1	-
206	BEDROOM 2	F-1	B-1	W-1	C-1	-
207	CLOSET	F-1	B-1	W-1	C-1	-

**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM; FLOAT; SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.
5. FINAL COLORS / FINISHES AS SELECTED BY ARCHITECT / OWNER.

NOTE: FIELD VERIFY EXISTING WALL THICKNESS  
 DOOR JAMB DIMENSION TO MATCH, TYP.



PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES

[CONCRETE SLAB]

[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT.

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
  - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS CONTRACTOR IS RESPONSIBLE FOR DETERMINING

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND GOVERNING THEIR SCOPE OF WORK. ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE COMMENCING THE WORK. DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS SHALL BE ANALYZED AND CAUSE THE CONTRACTOR TO PROCEED WITH WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AS WELL AS VERIFYING ALL MATERIALS, METHODS, AND ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AS WELL AS VERIFYING ALL MATERIALS, METHODS, AND ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO THE WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
  - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT, IMMEDIATELY IN WRITING IF ANY QUESTIONS OR DISCREPANCIES ARE IDENTIFIED. CONSULTANTS, OR REGULATORY AGENCIES, SHALL BE CONTACTED TO OBTAIN VALID AND ANY CHANGES IN WORK PRIOR TO ANY APPROVALS DUE TO SUCH CHANGES. CONTRACTOR'S RESPONSIBILITY IS TO VERIFY ALL INVESTIGATIVE WORK BE REQUIRED TO VERIFY ALL CONDITIONS, THE CONTRACT DOCUMENTS IMMEDIATELY. ENGINEERING SERVICES SHALL BE PROVIDED IMMEDIATELY. MODIFICATIONS IN THESE DOCUMENTS SHALL BE APPROVED BY THE ARCHITECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODE REQUIREMENTS. PRACTICES SHALL BE BROUGHT TO THE OWNER IMMEDIATELY UPON DISCOVERY.
  - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF DAMAGE, OR ANY OTHER PART OR PARTS TO NOT COMPLY WITH GOVERNMENT BUILDING CODE REQUIREMENTS. PRACTICES SHALL BE BROUGHT TO THE OWNER IMMEDIATELY UPON DISCOVERY.

EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM. SOFFIT,  
TO REMAIN



EX. VINYL SIDING  
REMAIN -  
PRESSURE

REMOVE EX., INSTALL  
NEW EXTERIOR LIGHT  
FIXTURES

EX. WINDOWS TO  
REMAIN - REPLACE ANY  
BROKEN GLAZING/  
SASHES

REMOVE EX., INSTALL  
NEW EXTERIOR DOORS,  
FRAMES, & HARDWARE.

REMOVE EX.  
LANDSCAPING  
COMPLETE - RESTORE  
SITE AS REQ'D

EX. SHINGLE ROOF  
SYSTEM TO REMAIN



EX. ALUM. G  
AND DOWNSP

REMOVE EX., INSTALL  
NEW EXTERIOR DOORS,  
FRAMES, & HARDWARE.

± 21'-0"

SUMP

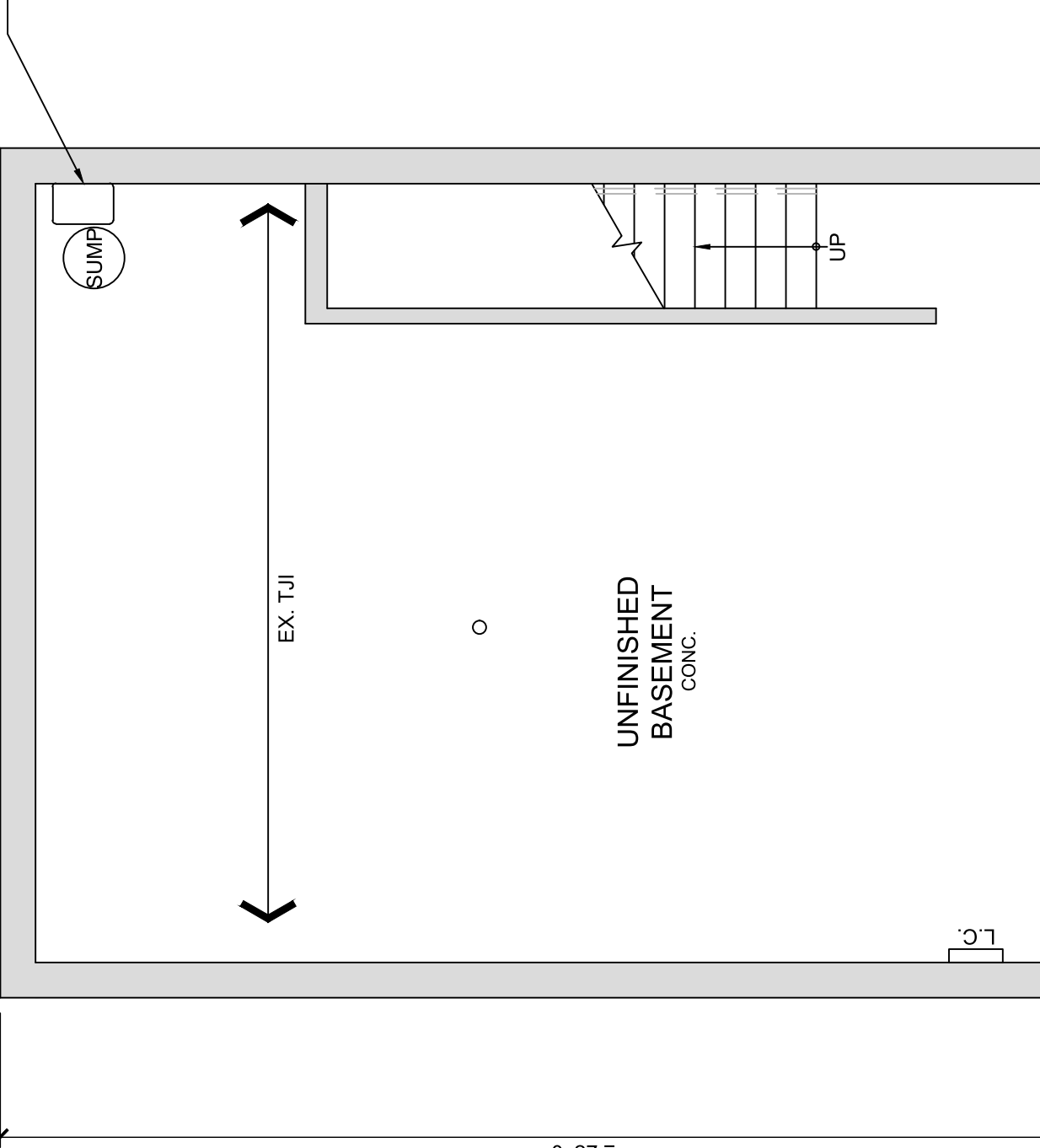
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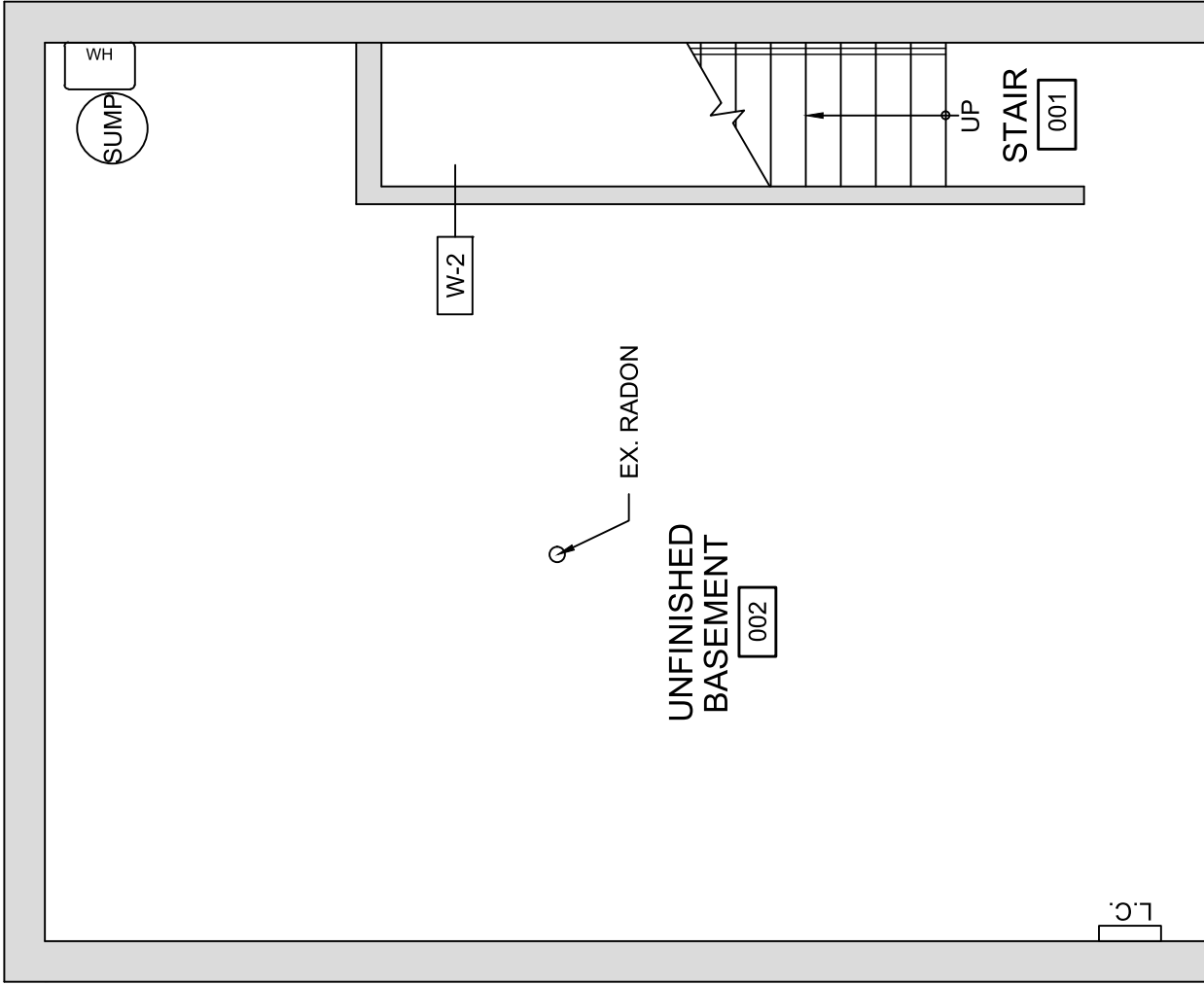
UNFINISHED  
BASEMENT  
CONC.

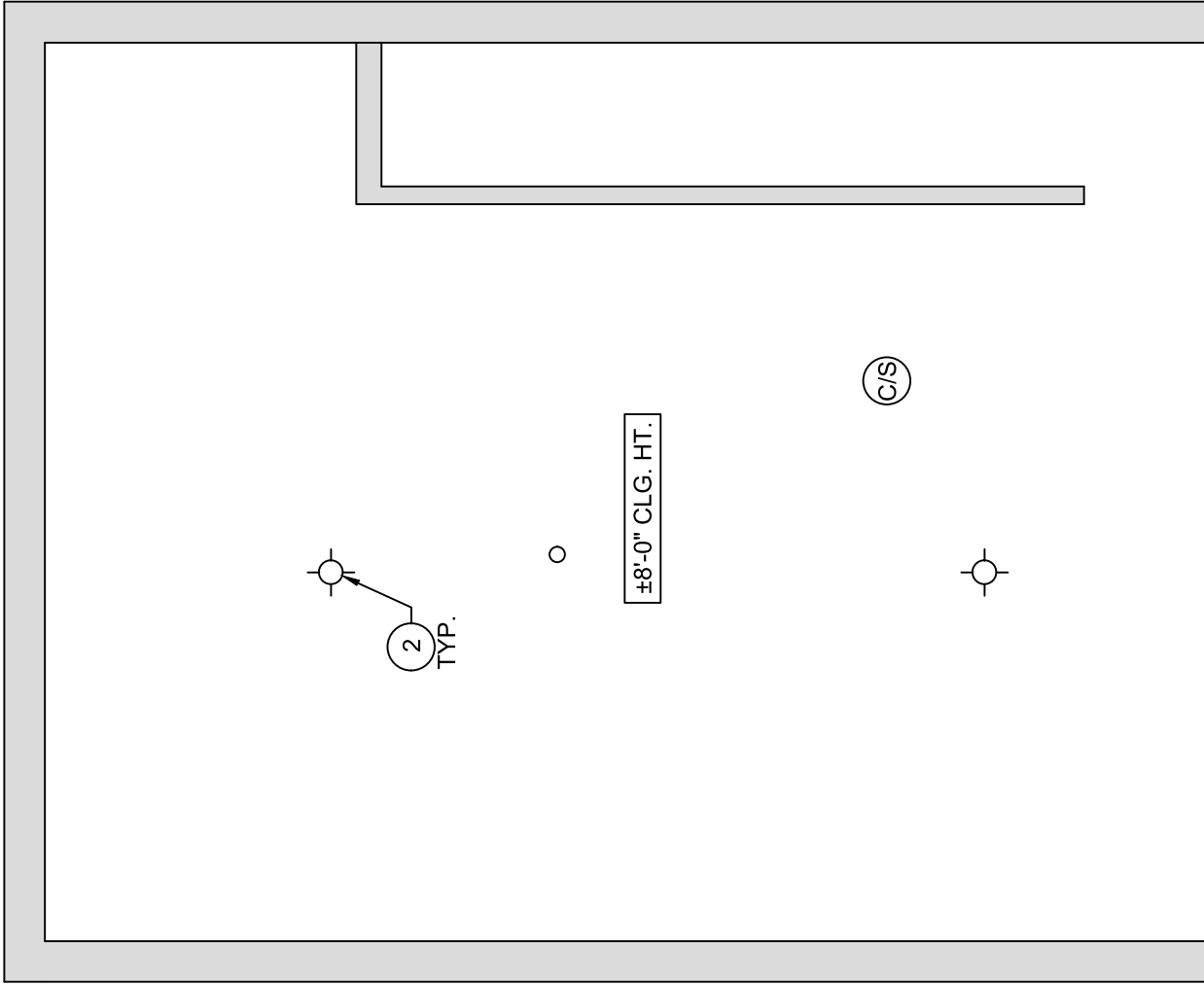
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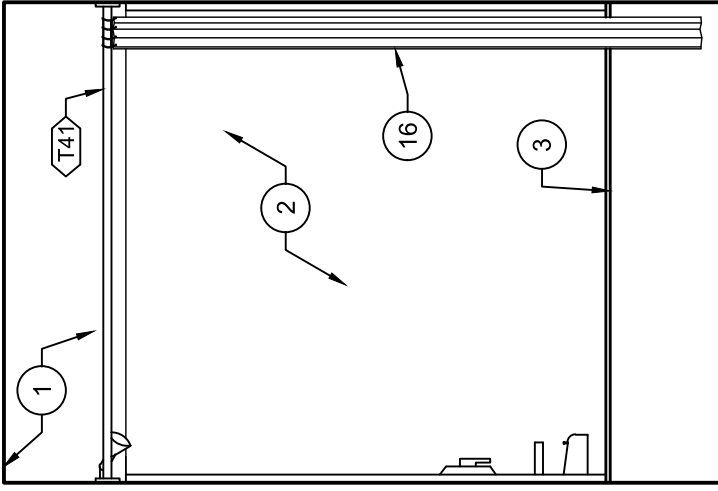
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± 28'-0"

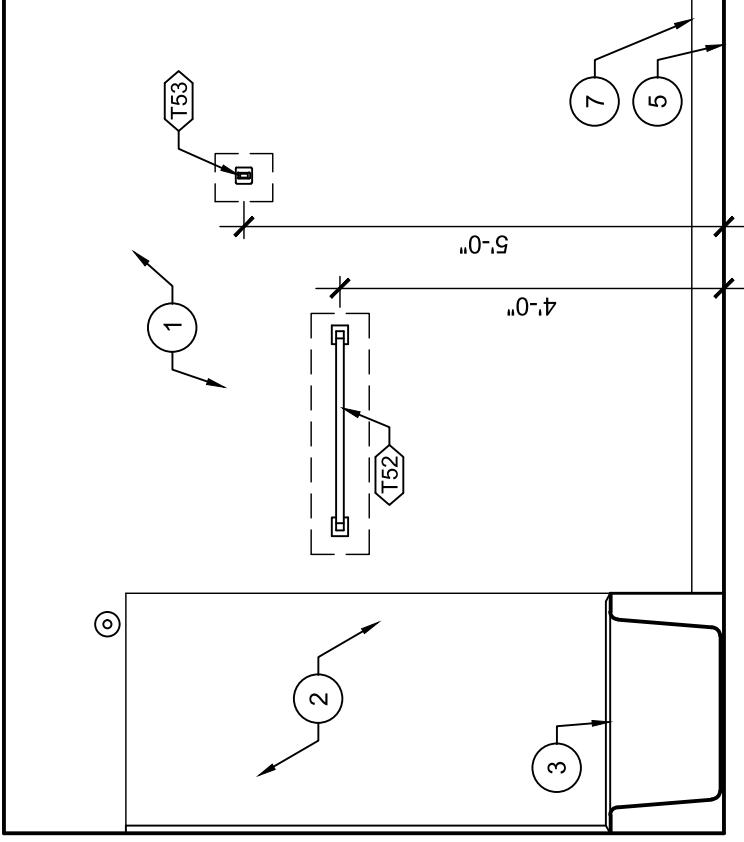








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B

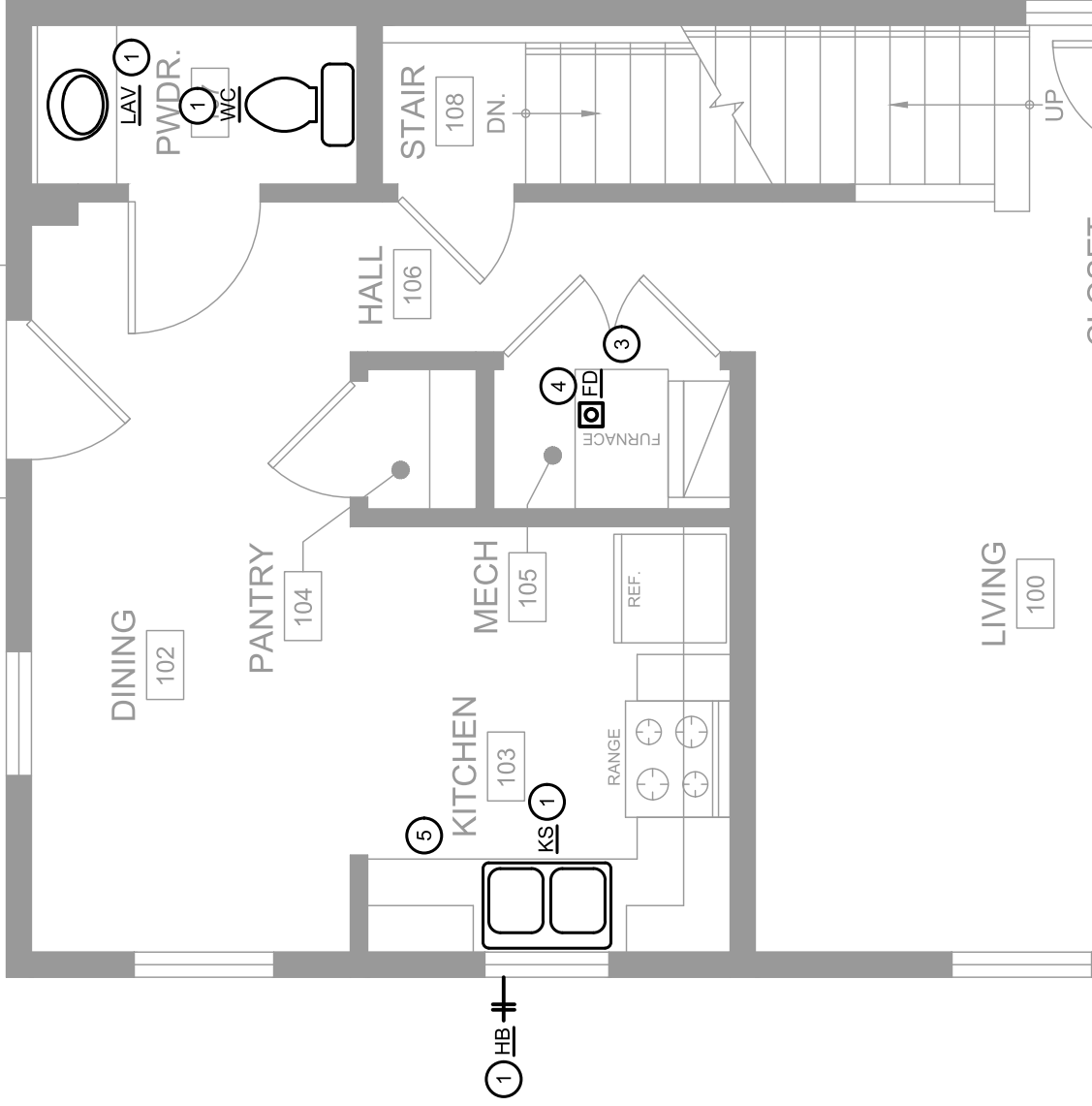
# INTERIOR ELEVATIONS AT BATH 205

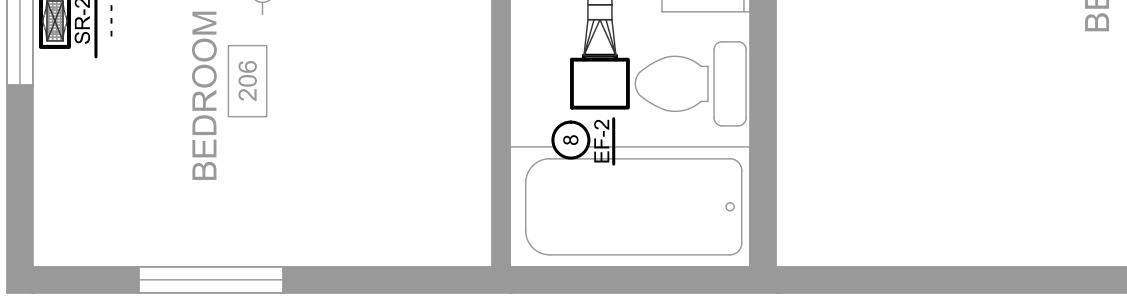
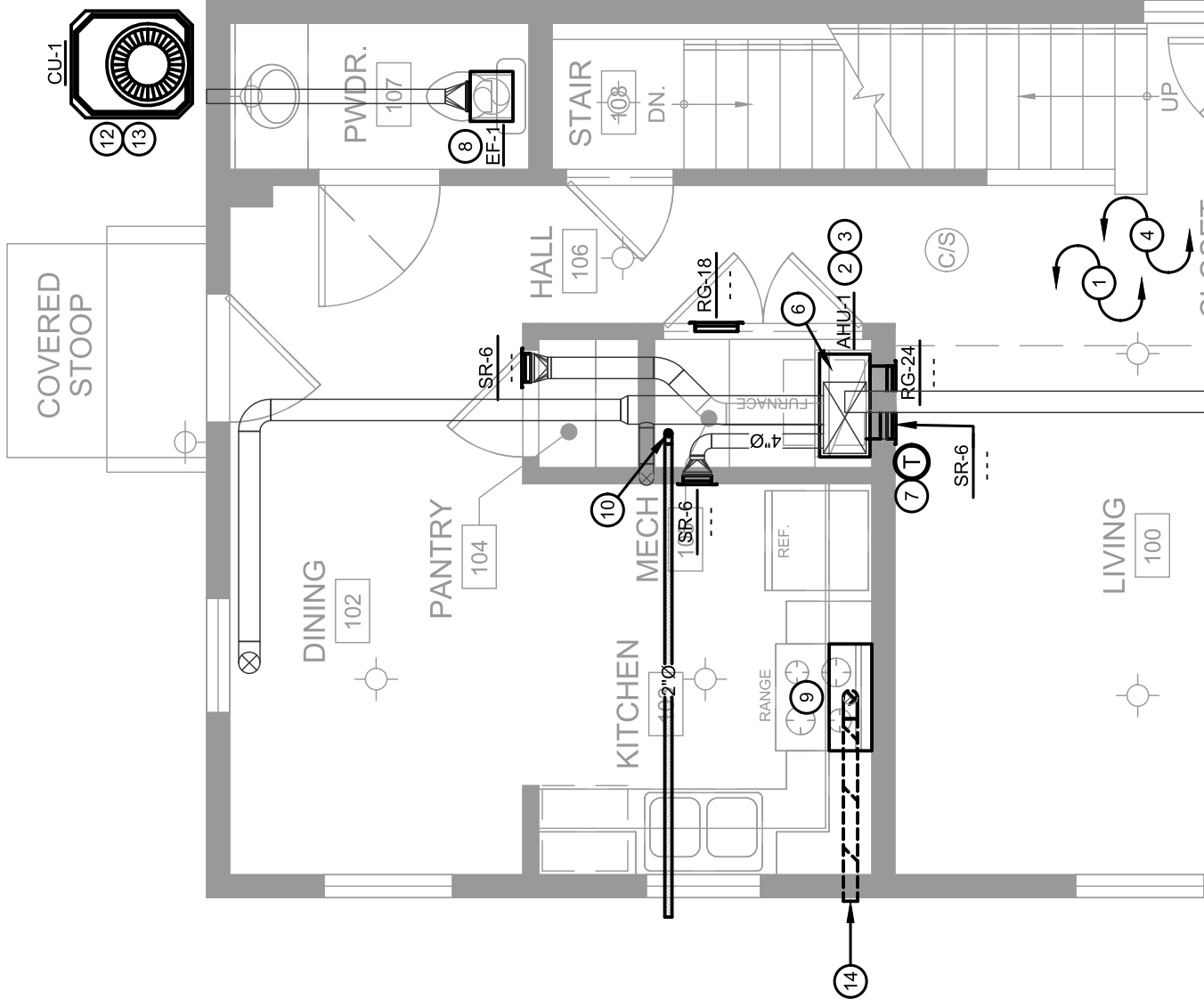
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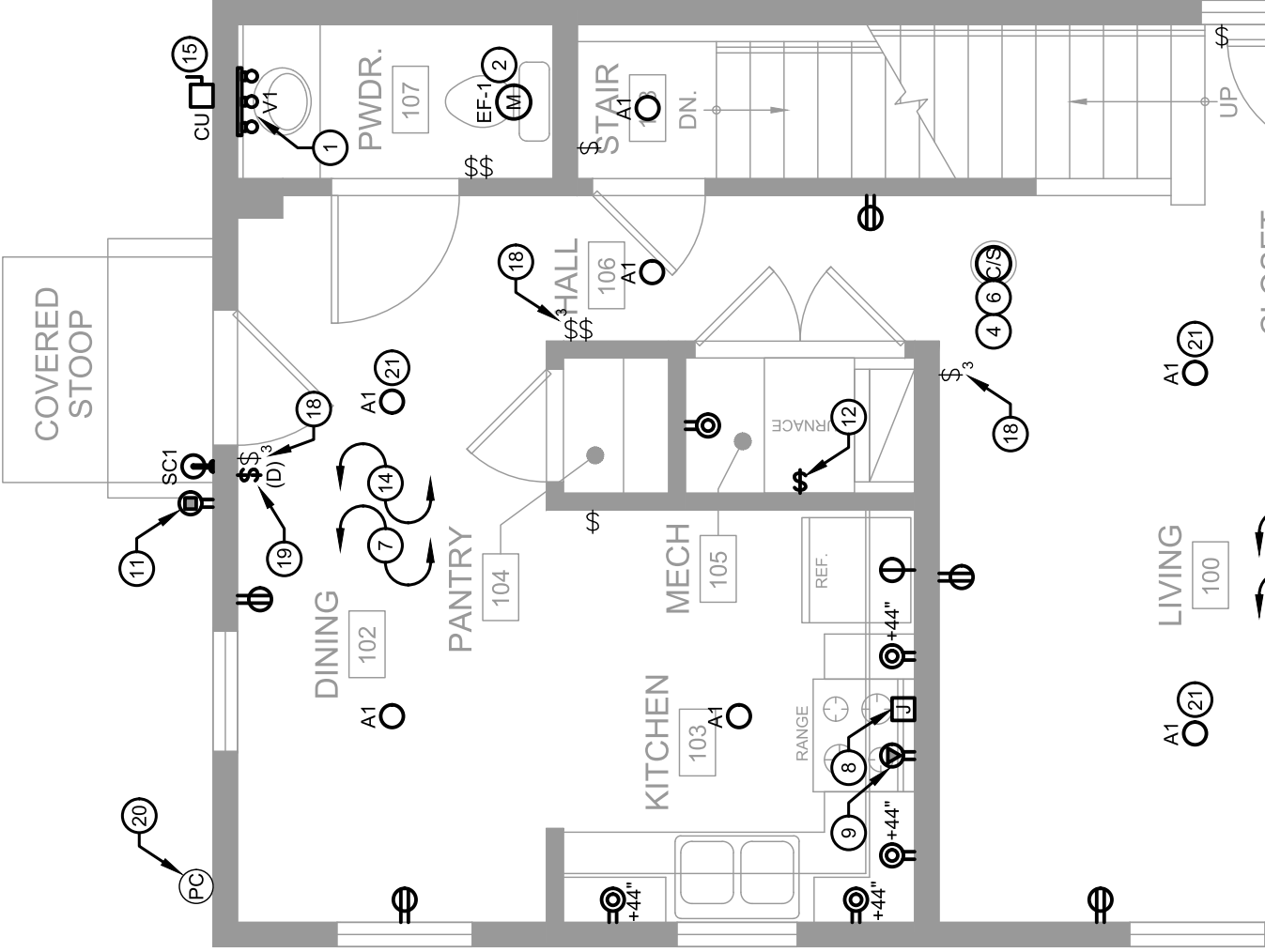


FILLER 2'-6" 1'-0" 2'-6" 1'-9" FILLER 2'-3"

COVERED  
STOOP







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	30	2
3		
5	20	2
7		
9	20	1
11	20	1
13	20	1
15	20	1
17	20	1
19	20	1
21	20	1
23	15	1
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>
<b>Total Connected Load F</b>		<b>Total Connected Load F</b>

# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206

### ENVIRONMENTAL CONSULTANT:



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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## SHEET INDEX

1923 SUPERIOR AVE. [SITE 16]

16-G1.1 PROJECT INFORMATION

16-G1.2 SCHEDULES

16-G1.3 TYPICAL DETAILS

16-G1.4 TYPICAL DETAILS

16-G1.5 GENERAL PROJECT NOTES

16-C1.1 ARCHITECTURAL SITE PLAN / EXTERIOR

16-D1.1 EXISTING / DEMOLITION FLOOR PLANS

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16-E1.1 ELECTRICAL PLAN

16-E5.1 ELECTRICAL SCHEDULES & NOTES

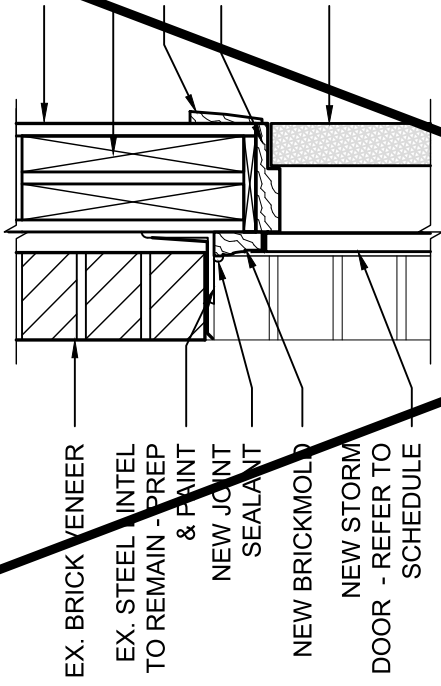
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	UNFINISHED BASEMENT	EX.	-	-	-	-
002	STAIR	EX.	-	-	-	-
100	LIVING	F-1	B-1	W-1	C-1	-
101	DINING	F-1	B-1	W-1	C-1	-
102	KITCHEN	F-1	B-1	W-1	C-1	-
103	MECHANICAL	F-1	B-1	W-1	C-1	-
104	CLOSET	F-1	B-1	W-1	C-1	-
105	LAUNDRY	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	POWDER	F-1	B-1	W-1	C-1	-
108	STAIRS	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
109	GARAGE	EX.	-	-	-	-
201	HALL	F-1	B-1	W-1	C-1	-
202	BATH	F-1	B-1	W-1	C-1	-
203	BEDROOM 1	F-1	B-1	W-1	C-1	-
204	CLOSET	F-1	B-1	W-1	C-1	-
205	BEDROOM 2	F-1	B-1	W-1	C-1	-
206	CLOSET	F-1	B-1	W-1	C-1	-
207	BEDROOM 3	F-1	B-1	W-1	C-1	-
208	CLOSET	F-1	B-1	W-1	C-1	-
209	CLOSET	F-1	B-1	W-1	C-1	-
210	LINEN	F-1	B-1	W-1	C-1	-

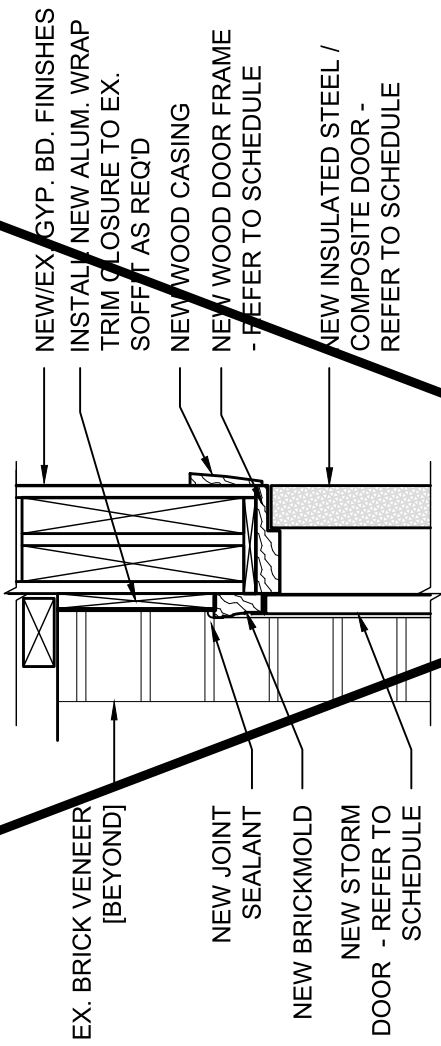
**GENERAL NOTES:**

1. CONFIRM ALL FLOOR TRANSITIONS BETWEEN ROOMS, FINISH FLOOR MATERIAL CHANGES, EXISTING FLOOR / SUB-FLOOR CONDITIONS, FLOOR SET FIXTURES AND APPLIANCES, ETC.
2. SKIM, FLOAT, SLOPE FLOOR AS REQUIRED BETWEEN VARIOUS FLOOR LEVELS IF REQ'D. COORDINATE W/ ARCHITECT.
3. PROVIDE ALL PREP WORK FOR PROPOSED FINISHES AS NOTED.
4. PAINT ALL NON-PRE-FINISHED SURFACES - GYPSUM BOARD, PLASTER, INTERIOR TRIM CARPENTRY, DOORS, WOOD COMPONENTS, ETC.

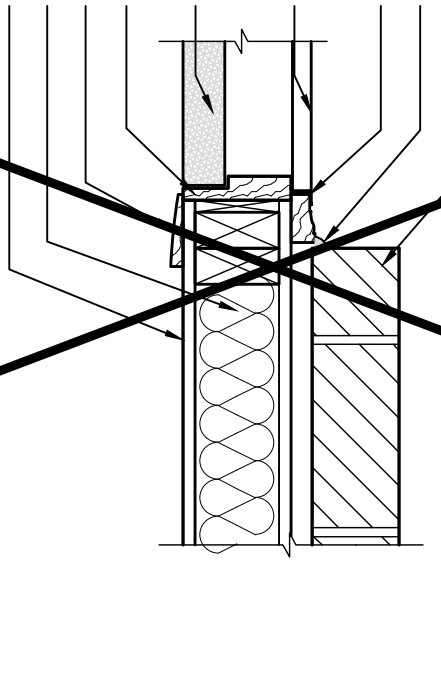
NOTE: FIELD VERIFY EXISTING WALL THICKNESS & ADJAC  
 DOOR JAMB DIMENSION TO MATCH, TYP.



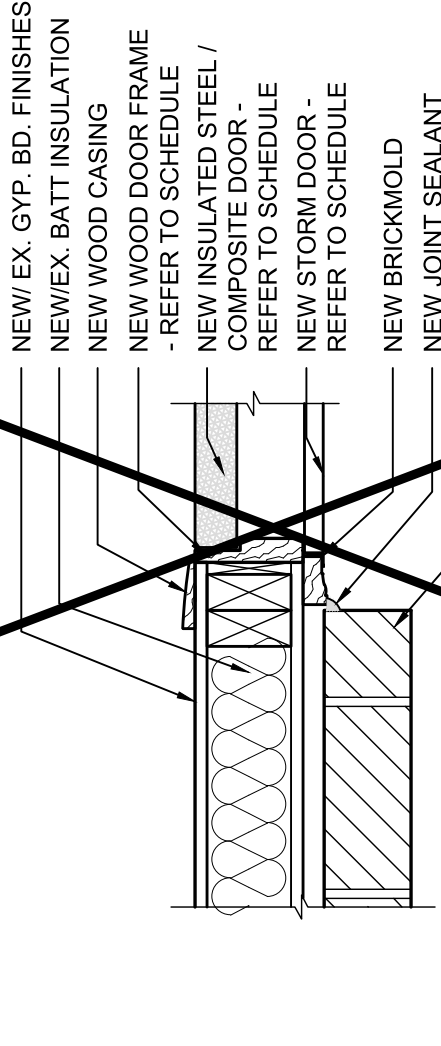
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HEAD



JAMB



JAMB

NEW WOOD DOOR  
 FRAME - REFER TO  
 SCHEDULE  
 EX. BRICK VENEER  
 [BEYOND]  
 NEW STORM DOOR -  
 REFER TO SCHEDULE

NEW WOOD DOOR  
 FRAME - REFER TO  
 SCHEDULE  
 NEW STORM DOOR -  
 REFER TO SCHEDULE  
 EX. BRICK VENEER  
 [BEYOND]  
 NEW FLOOR FINISH - AS

PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES  
[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR] [CONCRETE SLAB]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT.

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF; SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. MAINTAIN A 4" INCH AGGREGATE BASE UNDER THE SLAB. AGGREGATE SHOULD BE AT LEAST 1/4" AND LESS THAN 2" (#304).
5. A LAYER OF 6-MIL POLYETHYLENE SHALL COVER THE GRAVEL WITH SECTIONS OF SHEETING LAPPED AT LEAST 12 INCHES. CARE SHOULD BE TAKEN TO FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATION OF THE MATERIAL. SEAL ALL PUNCTURES AND TEARS.
6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
9. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
10. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
11. AN ELECTRIC JUNCTION BOX FOR FUTURE OUTLET SHALL BE INSTALLED IN THE ATTIC WITHIN 6' OF THE PIPE FOR POSSIBLE FUTURE FAN INSTALLATION. ALL VISIBLE PIPE SECTIONS NEED TO BE LABELED.
12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.





EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM. SOFFIT,  
TO REMAIN

EX. WINDOWS TO  
REMAIN - REPLACE ANY  
BROKEN GLAZING /  
SASHES

REMOVE EX., INSTALL  
NEW EXTERIOR LIGHT  
FIXTURES

REMOVE EX.  
LANDSCAPING  
COMPLETE - RESTORE  
SITE AS REQ'D

EX. SHINGLE ROOF  
SYSTEM TO REMAIN

EX. VINYL SIDING TO  
REMAIN - CLEAN /  
PRESSURE WASH

REMOVE EX., INSTALL  
NEW EXTERIOR DOOR,  
FRAMES, & HARDWARE

EX. WINDOW  
REMAIN - REPLACE  
BROKEN GLAZING  
SASHES  
REPAIR EX. S

EAST ELEVATION



EX. SHINGLE ROOF  
SYSTEM TO REMAIN

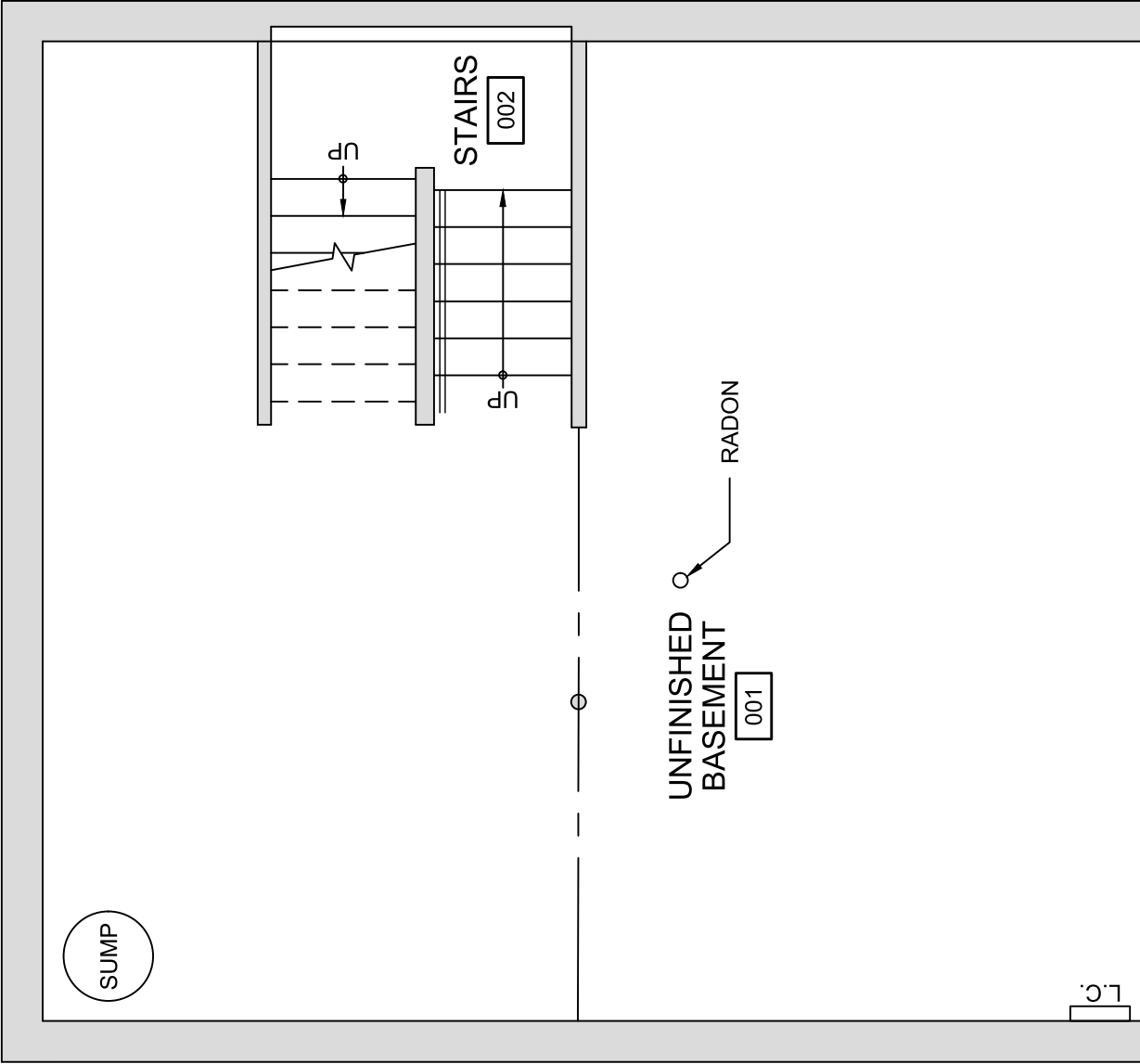
EX. ALUM. GUTTERS &  
DOWNSPOUTS TO  
REMAIN

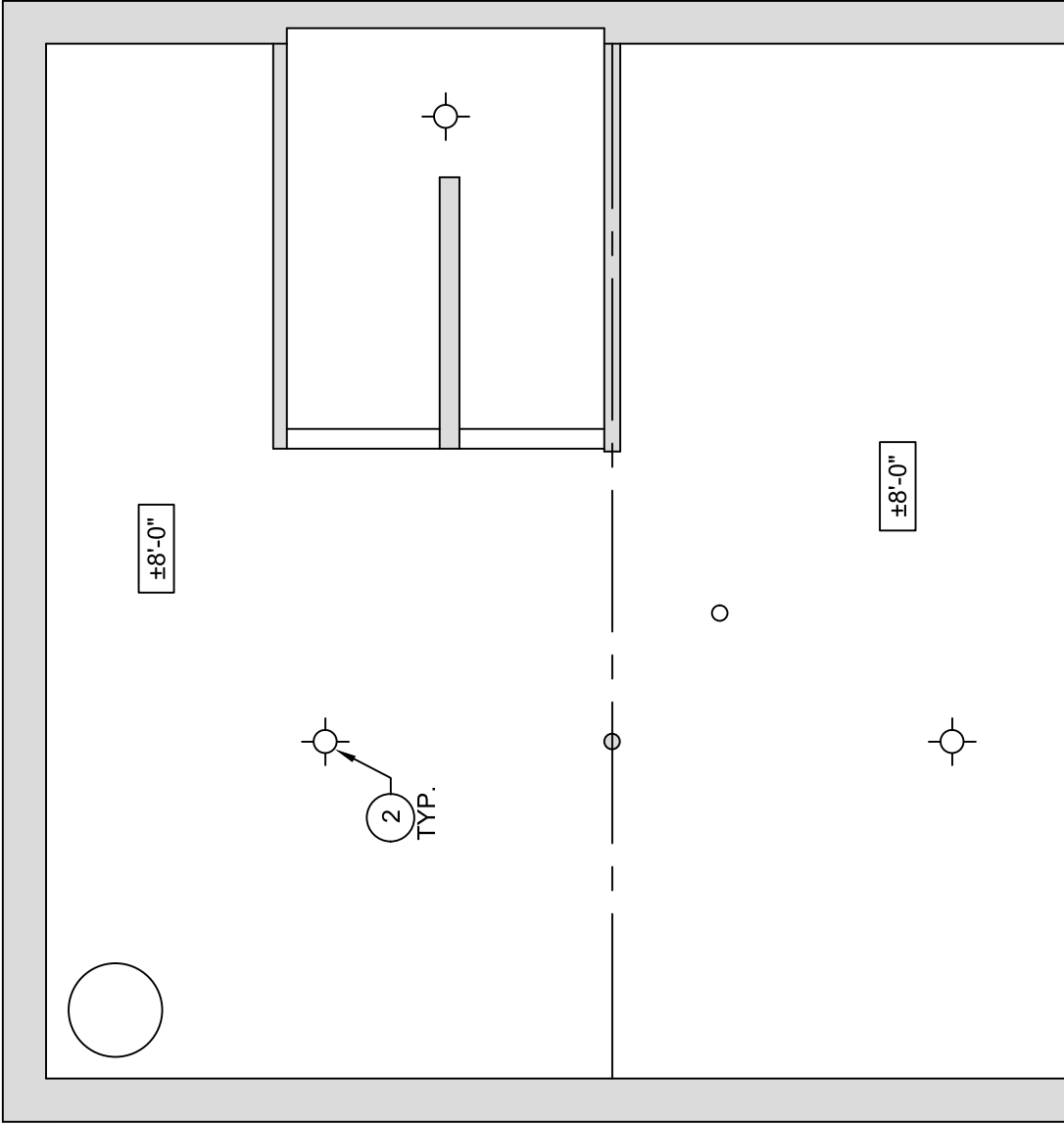
REMOVE EX., INSTALL  
NEW EXTERIOR DOORS,  
FRAMES, & HARDWARE.

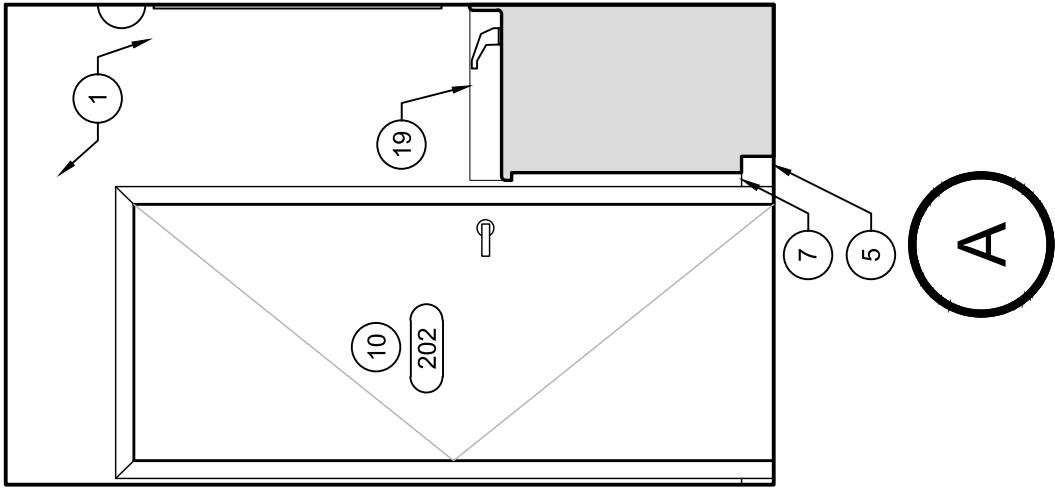
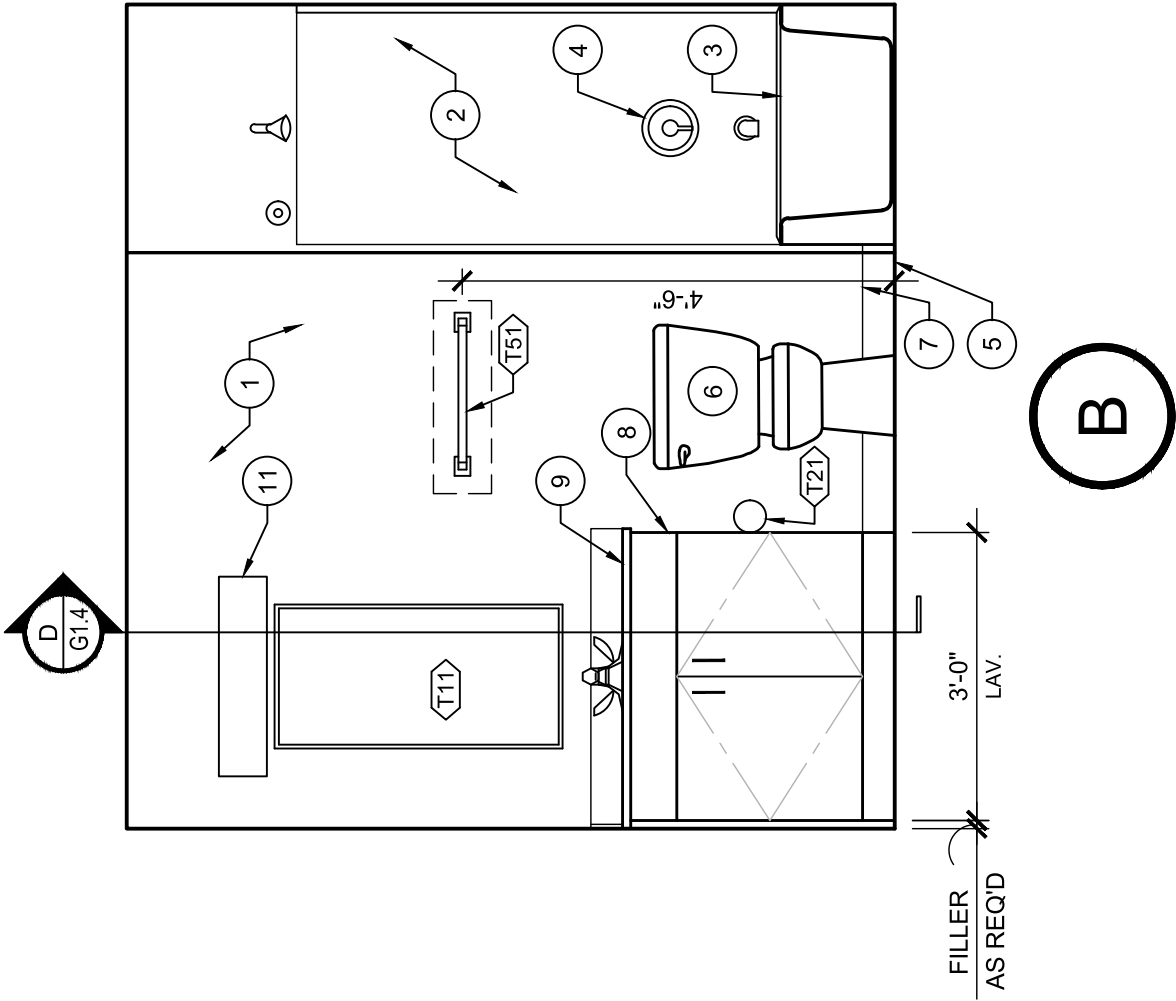
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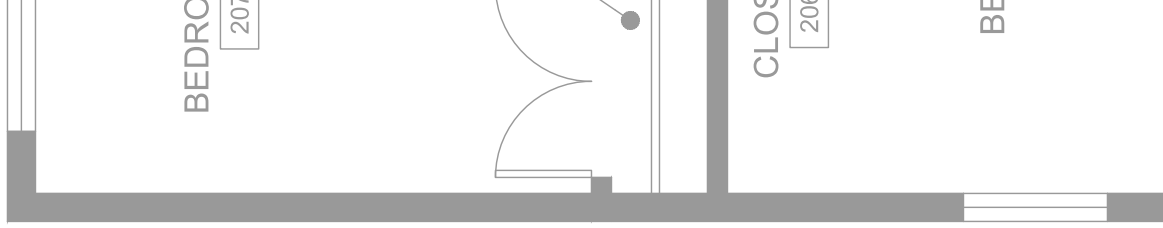
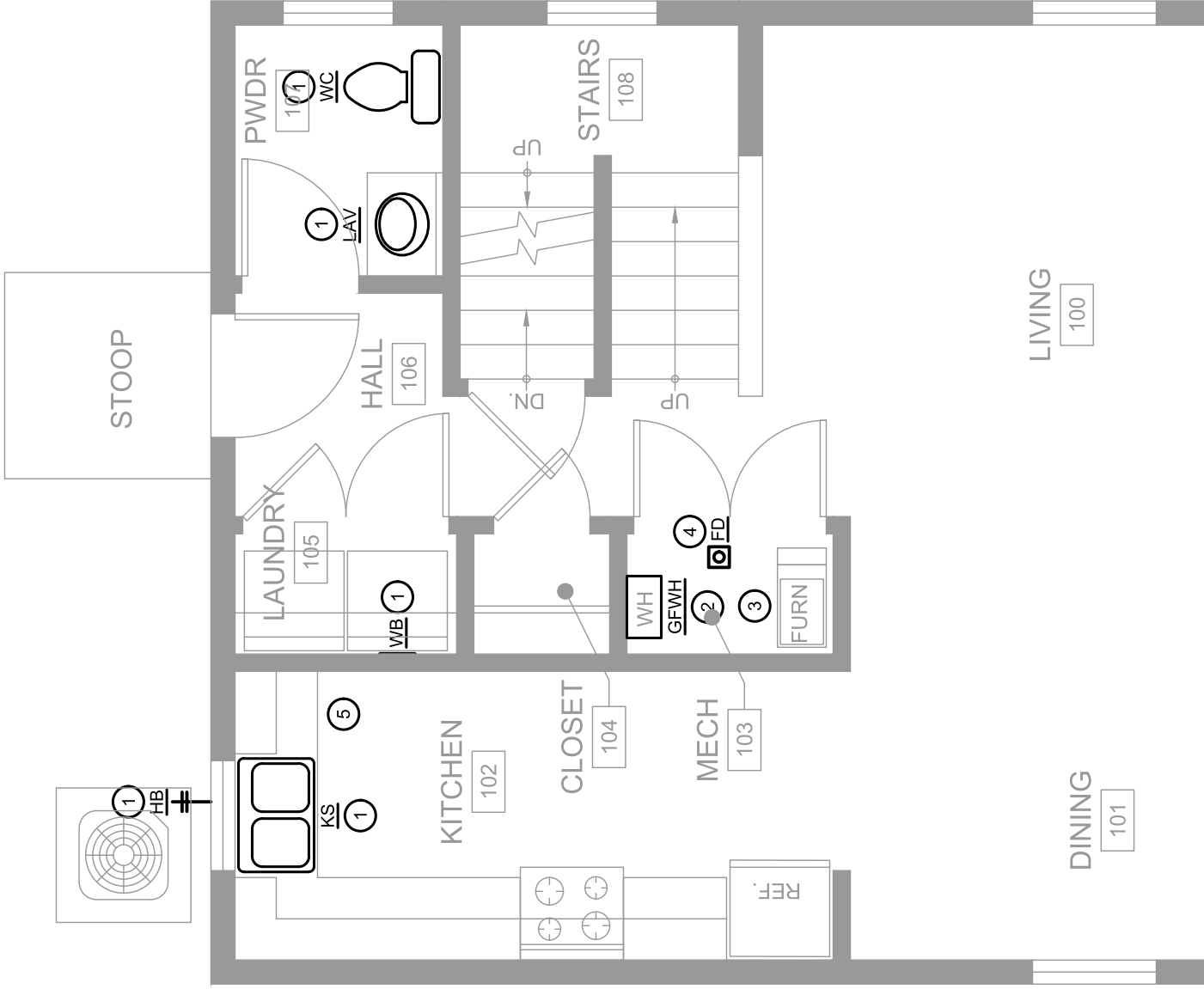


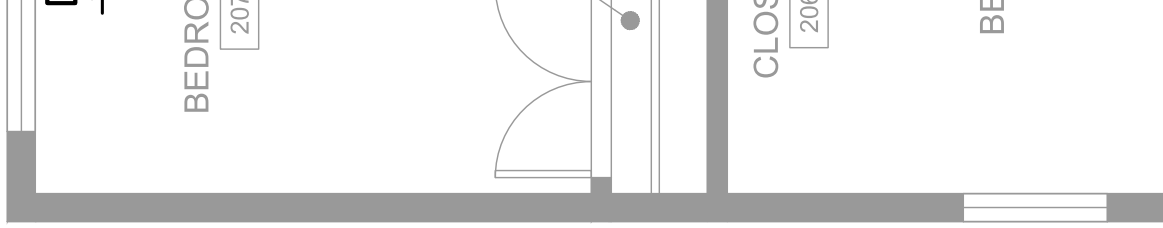
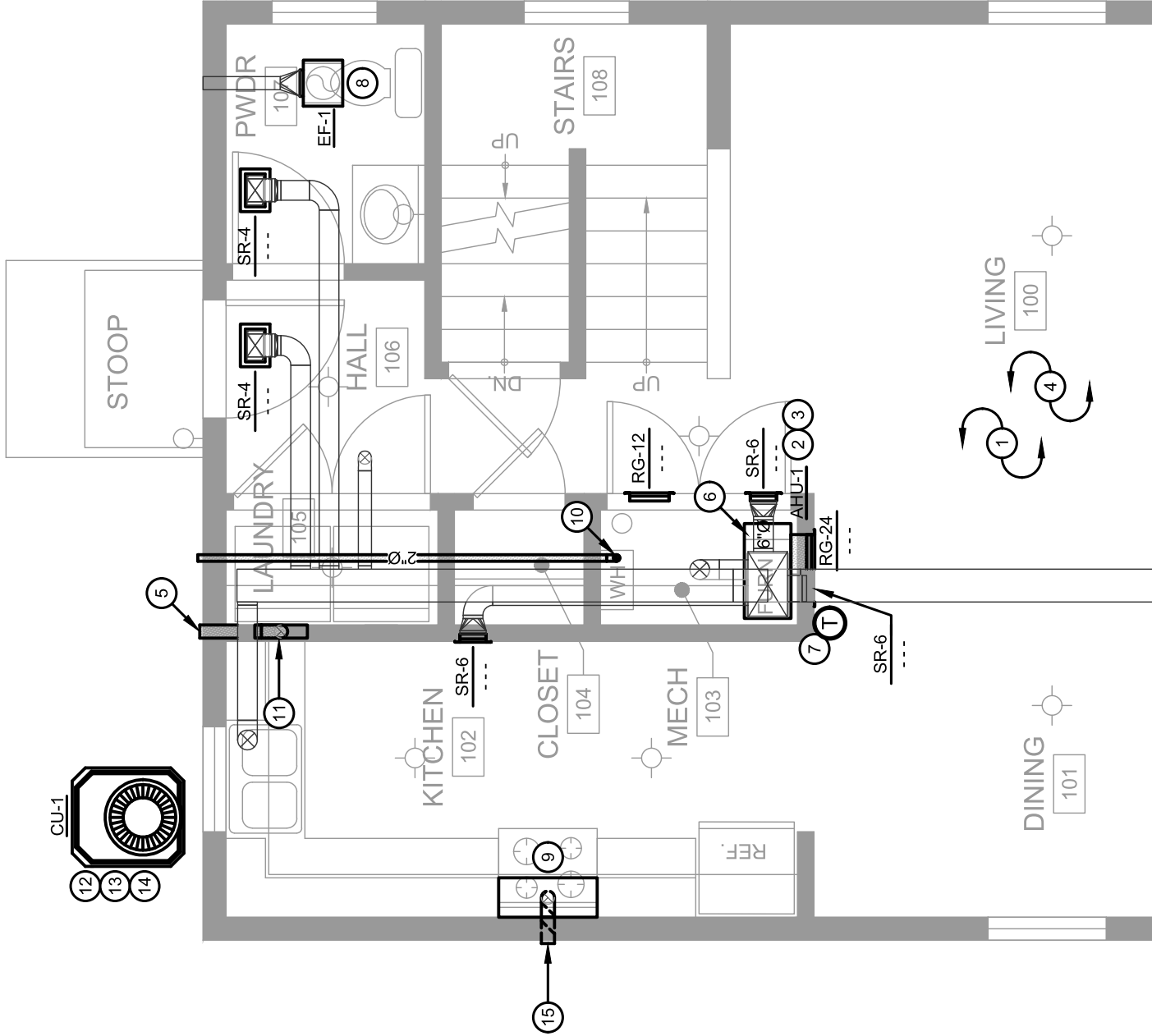


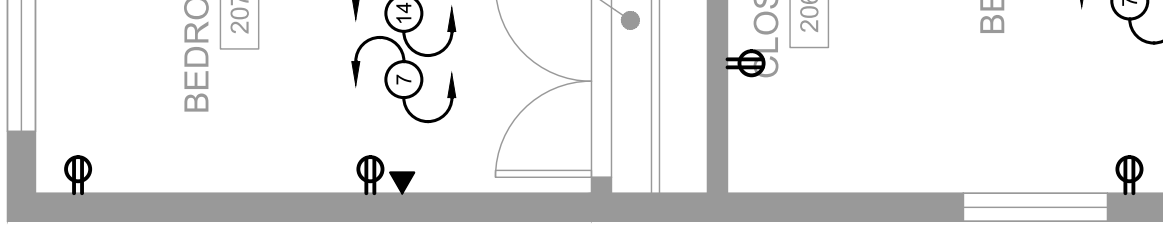
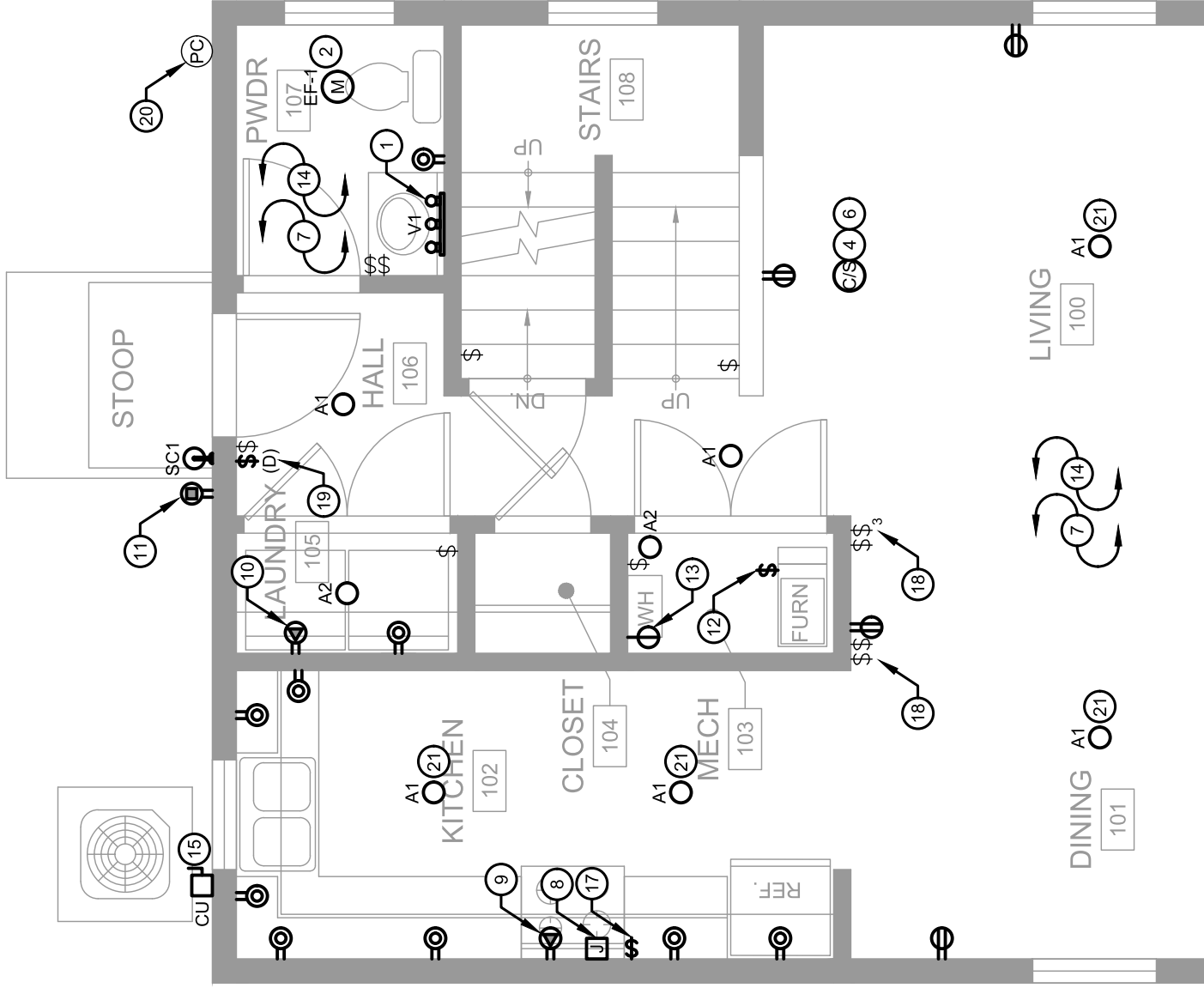


# INTERIOR ELEVATIONS AT BATH 202

SCALE: 1/2" = 1'-0"







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	15	1
3	40	2
5		
7	30	2
9		
11	15	1
13	15	1
15	15	1
17	15	1
19	15	1
21	15	1
23	20	1
<b>Total Connected Load P</b>		<b>Total Connected Load P</b>
<b>Total Connected Load P</b>		<b>Total Connected Load P</b>

# Scatter Springf

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## PROJECT TEAM

### ARCHITECT:



**RDA GROUP ARCHITECTS**

7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440

### PME ENGINEERS: ENVIRONMENTAL CONSULTANT:



E2M CONSULTING ENGINEERING  
682 TUXEDO PLACE  
CINCINNATI, OH 45206



M.A.C. PARAN CONSULTING  
SERVICES, INC.

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## SHEET INDEX

1927 SUPERIOR AVE. [SITE 17]

17-G1.1	PROJECT INFORMATION
17-G1.2	SCHEDULES
17-G1.3	TYPICAL DETAILS
17-G1.4	TYPICAL DETAILS
17-G1.5	GENERAL PROJECT NOTES
17-C1.1	ARCHITECTURAL SITE PLAN / EXTERIOR
17-D1.1	EXISTING / DEMOLITION FLOOR PLANS
17-A1.1	PROPOSED FLOOR PLANS
17-A1.2	REFLECTED CEILING PLANS
17-A3.1	INTERIOR ELEVATIONS
17-P1.1	PLUMBING PLAN
17-M1.1	MECHANICAL PLAN
17-E1.1	ELECTRICAL PLAN
17-E5.1	ELECTRICAL SCHEDULES & NOTES

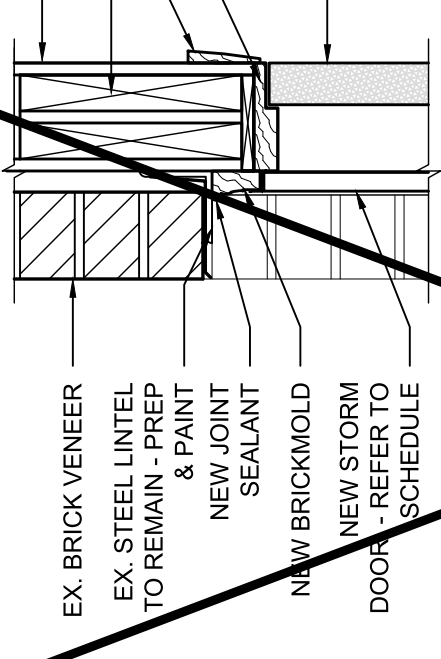
# ROOM FINISH SCHEDULE

#	NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
001	UNFINISHED BASEMENT	EX.	EX.	EX.	EX.	-
002	STAIR	EX.	EX.	EX.	EX.	-
100	LIVING	F-1	B-1	W-1	C-1	-
101	DINING	F-1	B-1	W-1	C-1	-
102	KITCHEN	F-1	B-1	W-1	C-1	-
103	MECHANICAL	F-1	B-1	W-1	C-1	-
104	CLOSET	F-1	B-1	W-1	C-1	-
105	LAUNDRY	F-1	B-1	W-1	C-1	-
106	HALL	F-1	B-1	W-1	C-1	-
107	POWDER	F-1	B-1	W-1	C-1	-
108	STAIRS	F-1	B-1	W-1	C-1	INSTALL NEW VINYL RIS./TR. COVERS
109	GARAGE	EX.	-	-	-	-
201	HALL	F-1	B-1	W-1	C-1	-
202	BATH	F-1	B-1	W-1	C-1	-
203	BEDROOM 2	F-1	B-1	W-1	C-1	-
204	CLOSET	F-1	B-1	W-1	C-1	-
205	BEDROOM 3	F-1	B-1	W-1	C-1	-
206	CLOSET	F-1	B-1	W-1	C-1	-
207	BEDROOM 1	F-1	B-1	W-1	C-1	-
208	CLOSET	F-1	B-1	W-1	C-1	-
209	CLOSET	F-1	B-1	W-1	C-1	-
210	LINEN	F-1	B-1	W-1	C-1	-

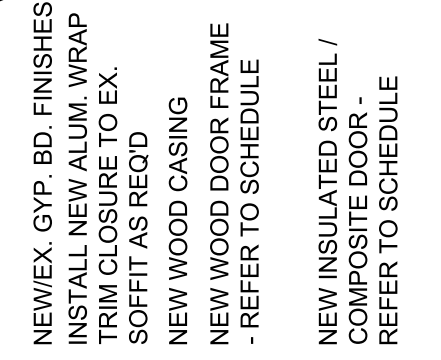
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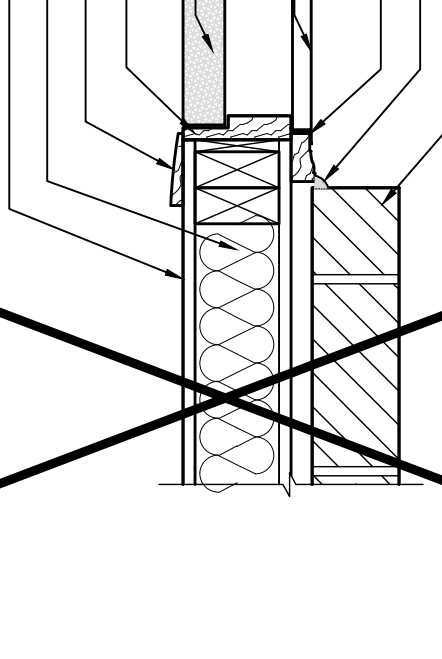
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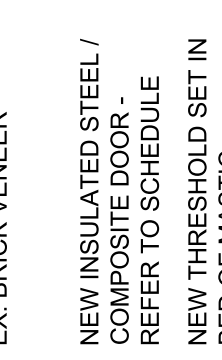
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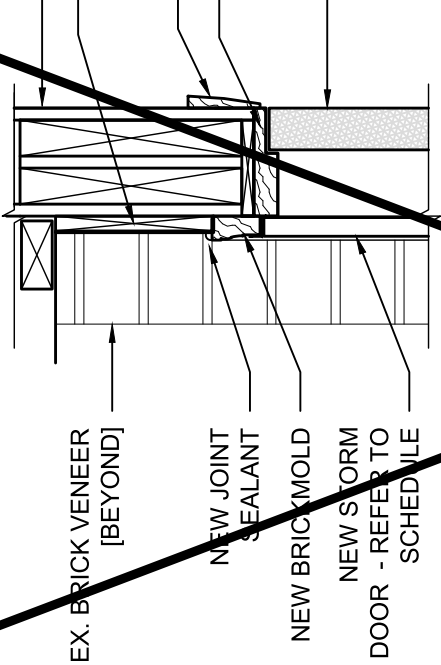
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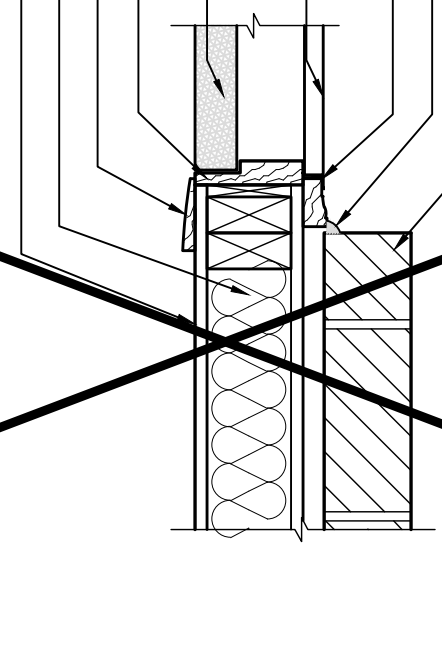
JAMB



JAMB



HEAD



JAMB



JAMB

PASSIVE RADON SYSTEM  
GENERAL CONCEPT DESIGN NOTES  
[DELEGATED DESIGN BY DESIGN-BUILD CONTRACTOR] [CONCRETE SLAB]

INSTALL A PASSIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.

DESIGN AND INSTALLATION OF A COMPLETE PASSIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS AS PART OF THE GENERAL CONTRACTOR'S CONSTRUCTION CONTRACT FOR THE PROJECT.

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6. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
7. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
8. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
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12. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.

## DIVISION 1 - GENERAL PROJECT REQUIREMENTS

### SECTION 01 00 00 GENERAL REQUIREMENTS

- 1.1. TRASH / DEBRIS:
  - 1.1.1. CONTRACTOR SHALL PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. LOCATE IN A LOCATION APPROVED BY OWNER.
  - 1.1.2. THE JOB SITE IS TO BE KEPT CLEAN DURING CONSTRUCTION. CONTRACTOR SHALL PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE AT THEIR EXPENSE IN A LEGAL MANNER. INCLUSIVE OF ALL BOXES, CRATES, OR TRASH OF INSTALLED ITEMS, INCLUDING DISPLAY FIXTURES AND HARDWARE SUPPLIED BY THE CONTRACTOR OR OTHERS.
  - 1.1.3. FINAL CLEANING: PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION.
- 1.2. CONSTRUCTION SAFETY:
  - 1.2.1. CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY; COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLIGENCE OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 1.2.2. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 1.2.3. TEMPORARY PROTECTION / BARRICADES: ERECT ALL NECESSARY TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH OWNER AS NECESSARY.
  - 1.2.4. FIRE PREVENTION: PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE.
    - 1.2.4.1. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
- 1.3. PRODUCTS:
  - 1.3.1. INSTALL ALL MATERIALS, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 1.3.2. COORDINATE ALL FINAL FINISHES AND SELECTIONS WITH THE PROJECT TEAM. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 1.3.3. ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES SHALL BE IN FULL COMPLIANCE WITH ADAAG/ANSI REQUIREMENTS AS APPLICABLE TO ACCESSIBLE UNITS. ENSURE THAT ALL MATERIALS AND ACCESSORIES ARE PROVIDED TO ENSURE COMPLIANCE.
    - 1.3.4. ITEMS MAY BE REFERRED TO AS SINGULAR OR PLURAL ON THE DRAWINGS

## DIVISION 2 - EXISTING CONDITIONS

### SECTION 02 41 19 EXISTING CONDITIONS / SE

- 1.1. VERIFICATION OF EXISTING CONDITIONS:
  - 1.1.1. DO NOT SCALE DRAWINGS.
  - 1.1.2. CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS GOVERNING THEIR SCOPE OF WORK. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT IMMEDIATELY, BEFORE THE CONTRACTOR OR JOB CONDITIONS (INCLUDING ALL DIMENSIONS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. THE CONTRACTOR SHALL PROCEEDING WITH WORK.
  - 1.1.4. FULLY EXAMINE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS COMMENCING THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AS WELL AS VERIFICATION OF ALL MATERIALS, CONSTRUCTION, MATERIALS, ELEMENTS AND TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS.
  - 1.1.5. IT SHALL BE THE JOINT RESPONSIBILITY OF ALL SUBCONTRACTORS AND SUPPLIERS TO VERIFY ALL NECESSARY ADAPTATIONS TO ALL WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.5.1. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT IMMEDIATELY, BEFORE THE CONTRACTOR OR JOB CONDITIONS (INCLUDING ALL DIMENSIONS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. THE CONTRACTOR SHALL PROCEEDING WITH WORK.
  - 1.1.6. CONTACT CLIENT, OR THE ARCHITECT IMMEDIATELY OF ANY QUESTIONS OR DISCREPANCIES BETWEEN THE CONTRACT DOCUMENTS, OR REGULATIONS, OR VALID AND ANY CHANGES IN WORK PRIOR TO ORDERING, FABRICATING, OR INSTALLING MATERIALS, EQUIPMENT, OR COMPONENTS INTO THE WORK OF THIS PROJECT.
    - 1.1.6.1. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL ELEMENTS, AND ALL ERRORS, OMISSIONS, AND DISCREPANCIES WHICH ARE DISCOVERED ARE TO BE CORRECTED IMMEDIATELY, BEFORE THE ARCHITECT IMMEDIATELY, BEFORE THE CONTRACTOR OR JOB CONDITIONS (INCLUDING ALL DIMENSIONS) ARISE AND CAUSE THE CONTRACTOR TO BE ANALYZED. DOCUMENTS SHALL BE ANALYZED AND CORRECTED BEFORE THE CONTRACTOR IF THEY ARE NOT CORRECT. THE CONTRACTOR SHALL PROCEEDING WITH WORK.
  - 1.1.7. ANY PART OR PARTS OF THE PROJECT (WHOLE) THAT SHOWS SIGNS OF WEAR, DAMAGE, OR ANY OTHER DEFECTS, OR PARTS TO NOT COMPLY WITH THE GOVERNMENT BUILDING CODES AND PRACTICES, SHALL BE REPAIR OR REPLACED IMMEDIATELY.



EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM. SOFFIT,  
TO REMAIN

EX. ALUM. GUTTERS &  
DOWNSPOUTS TO  
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REMOVE EX.  
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EAST ELEVATION

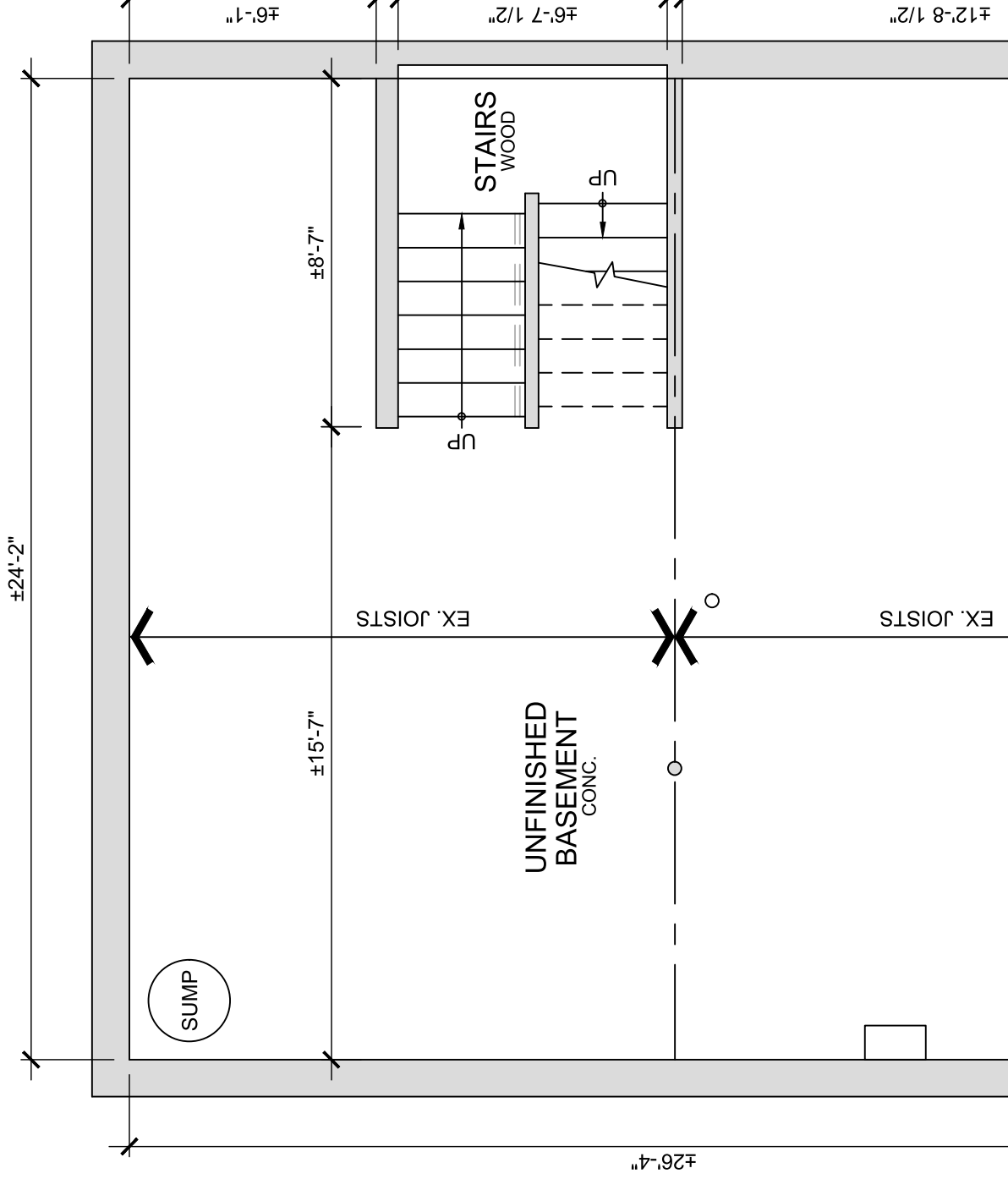


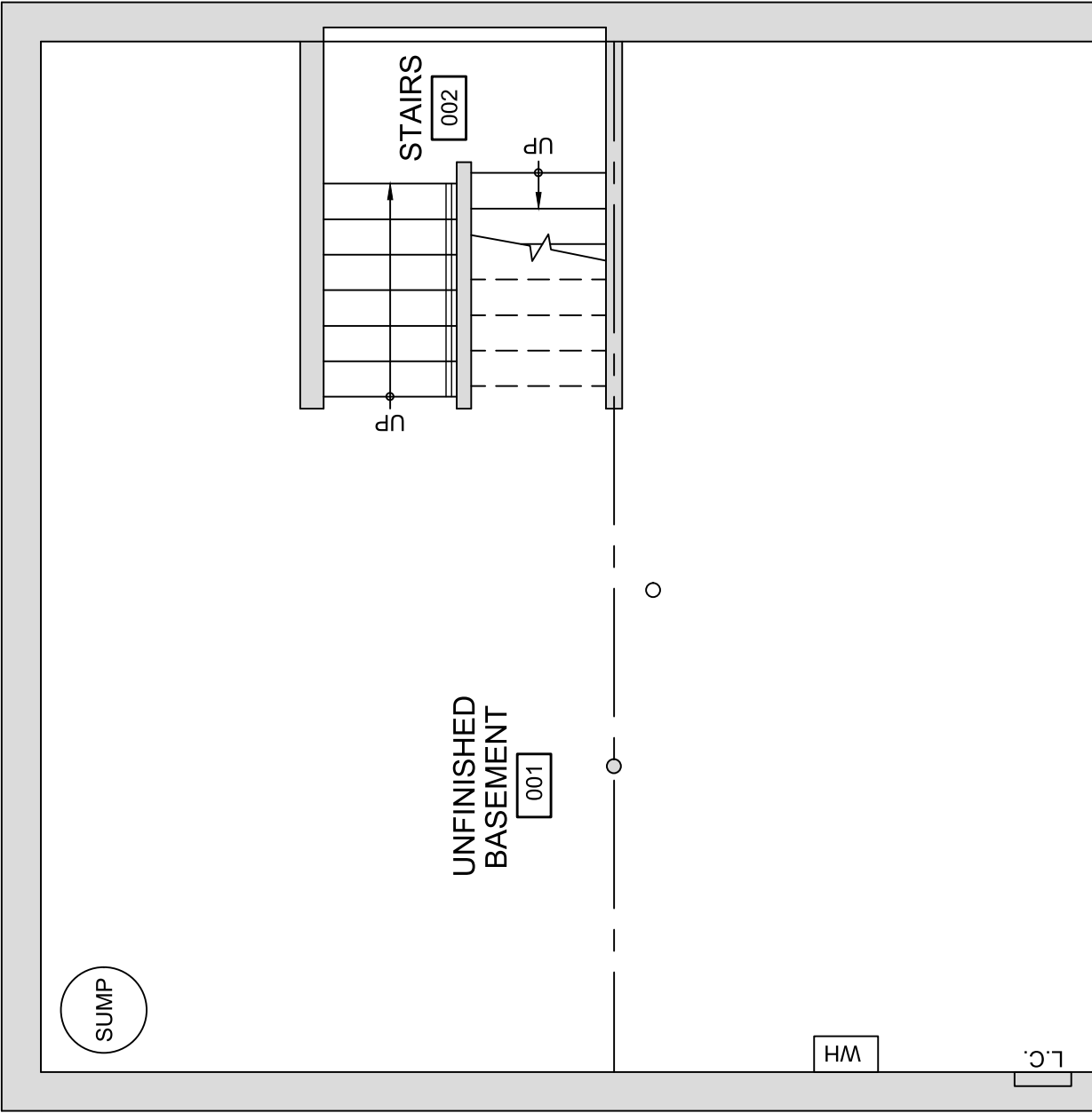
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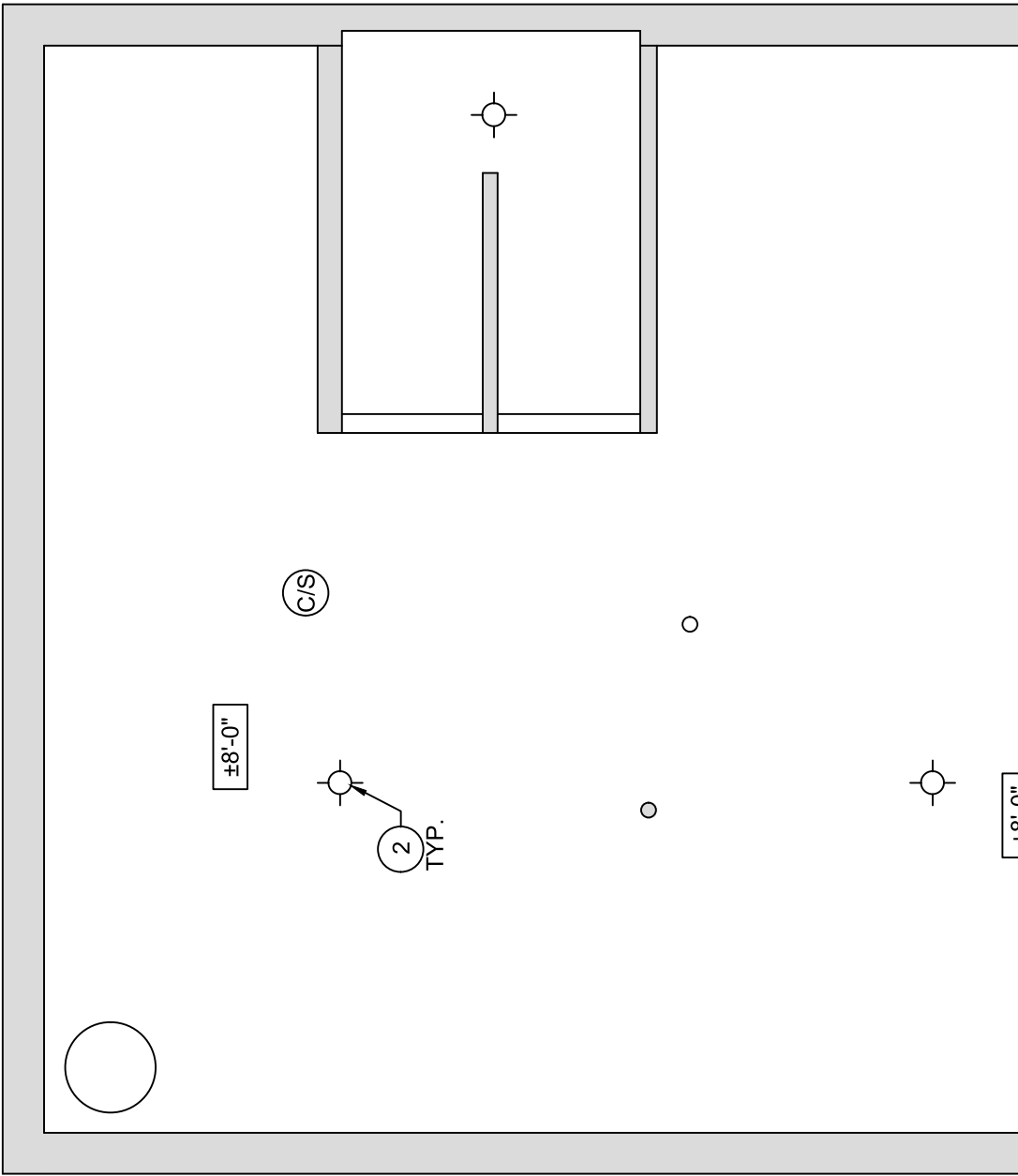
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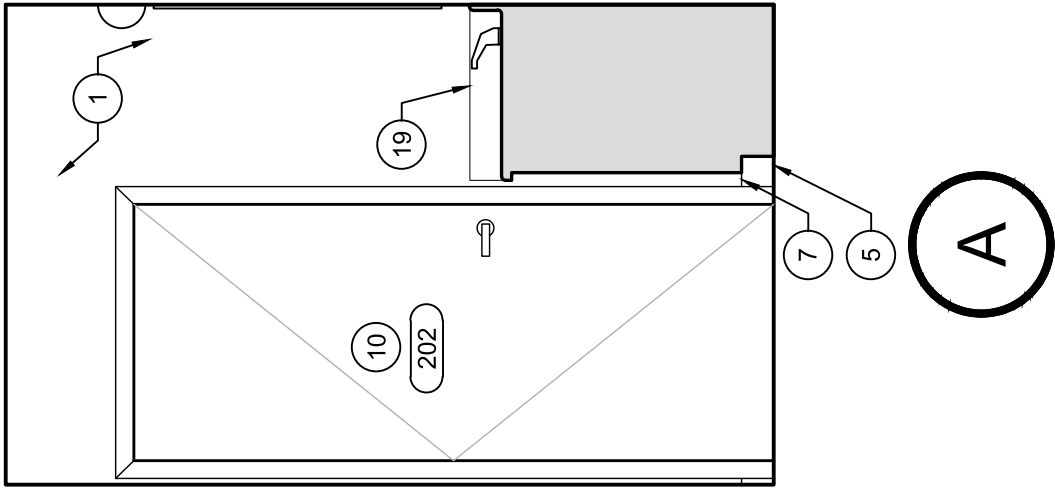
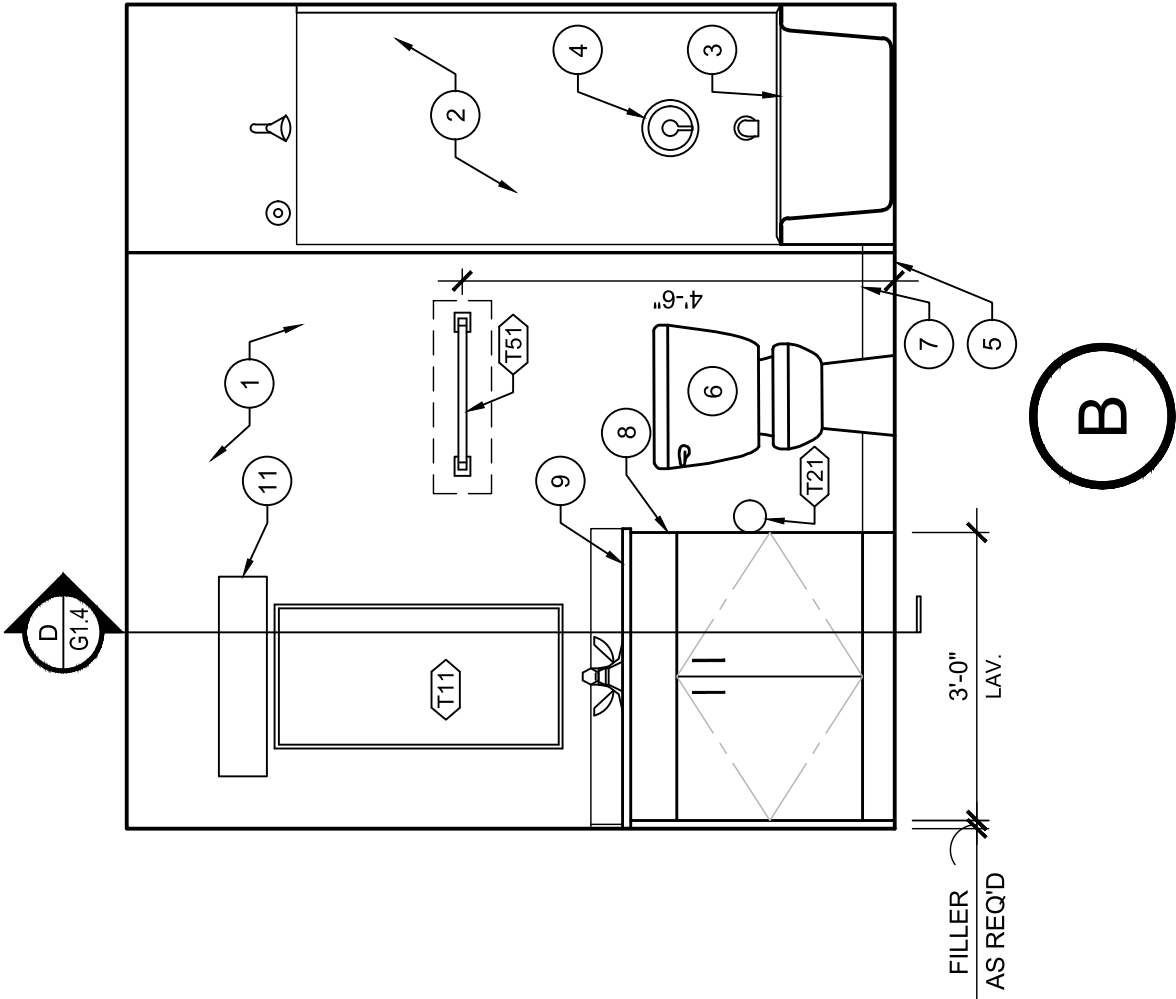
EX. ALUM. WRAP  
RAKE/FASCIA & EX.  
VENTED ALUM.  
SOFFIT, TO REMAIN

EX. VINYL SIDING TO



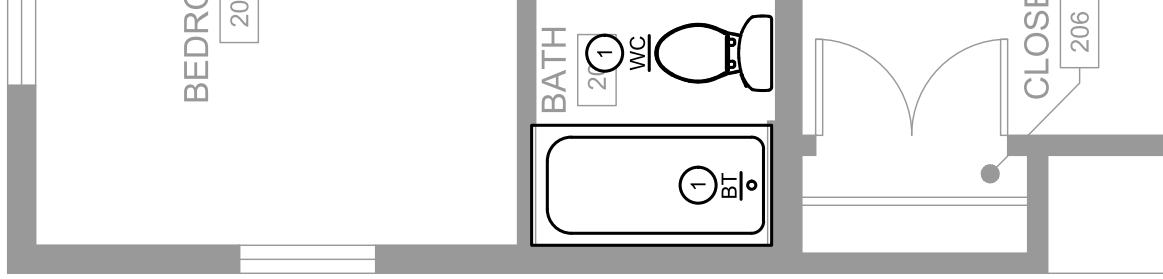
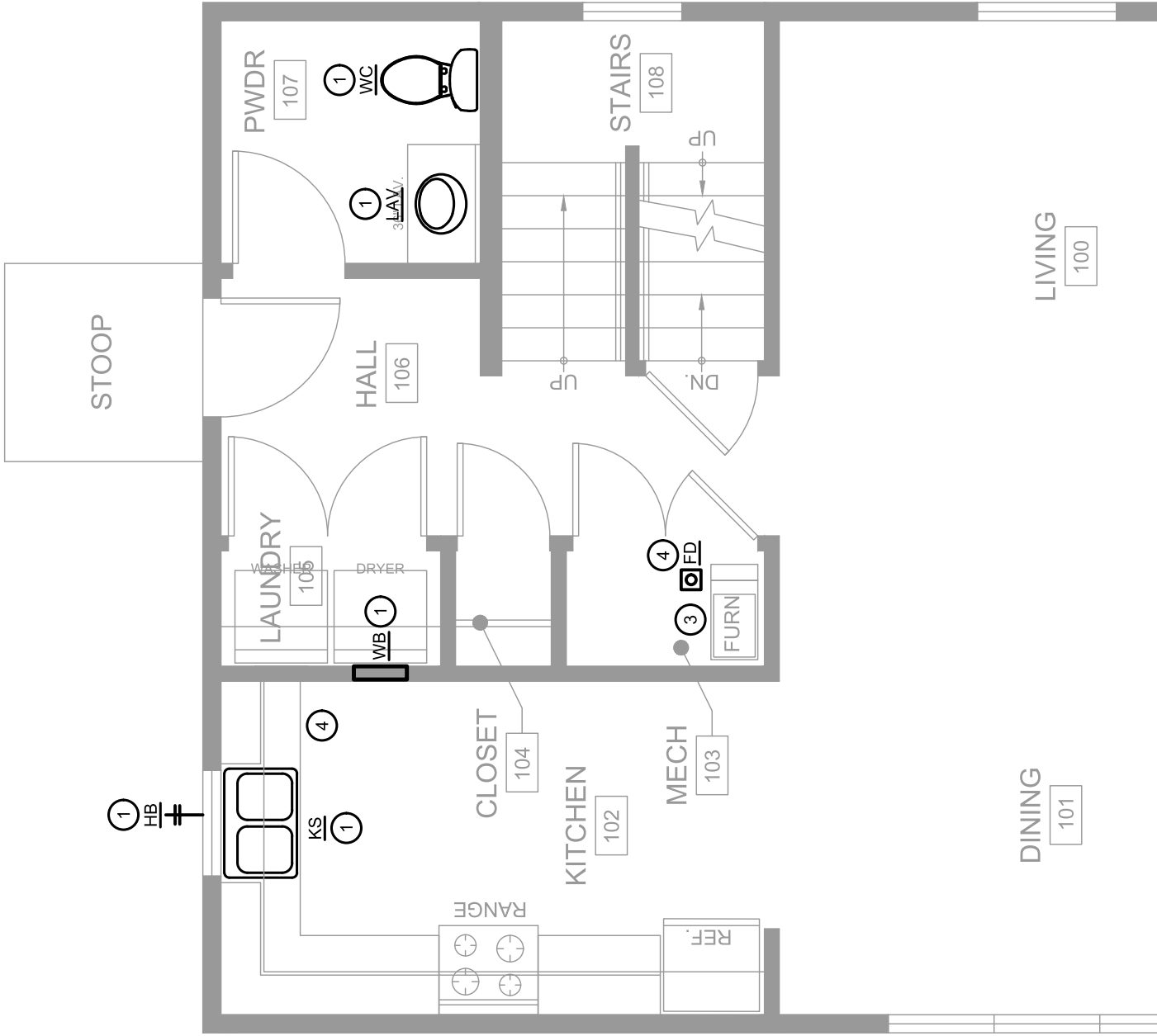


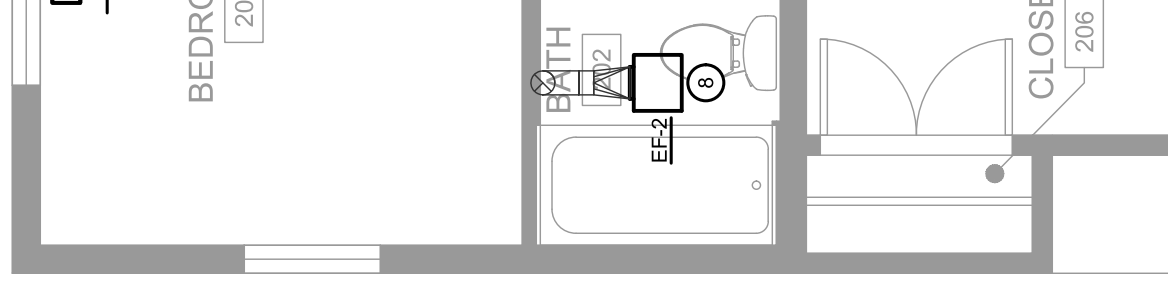
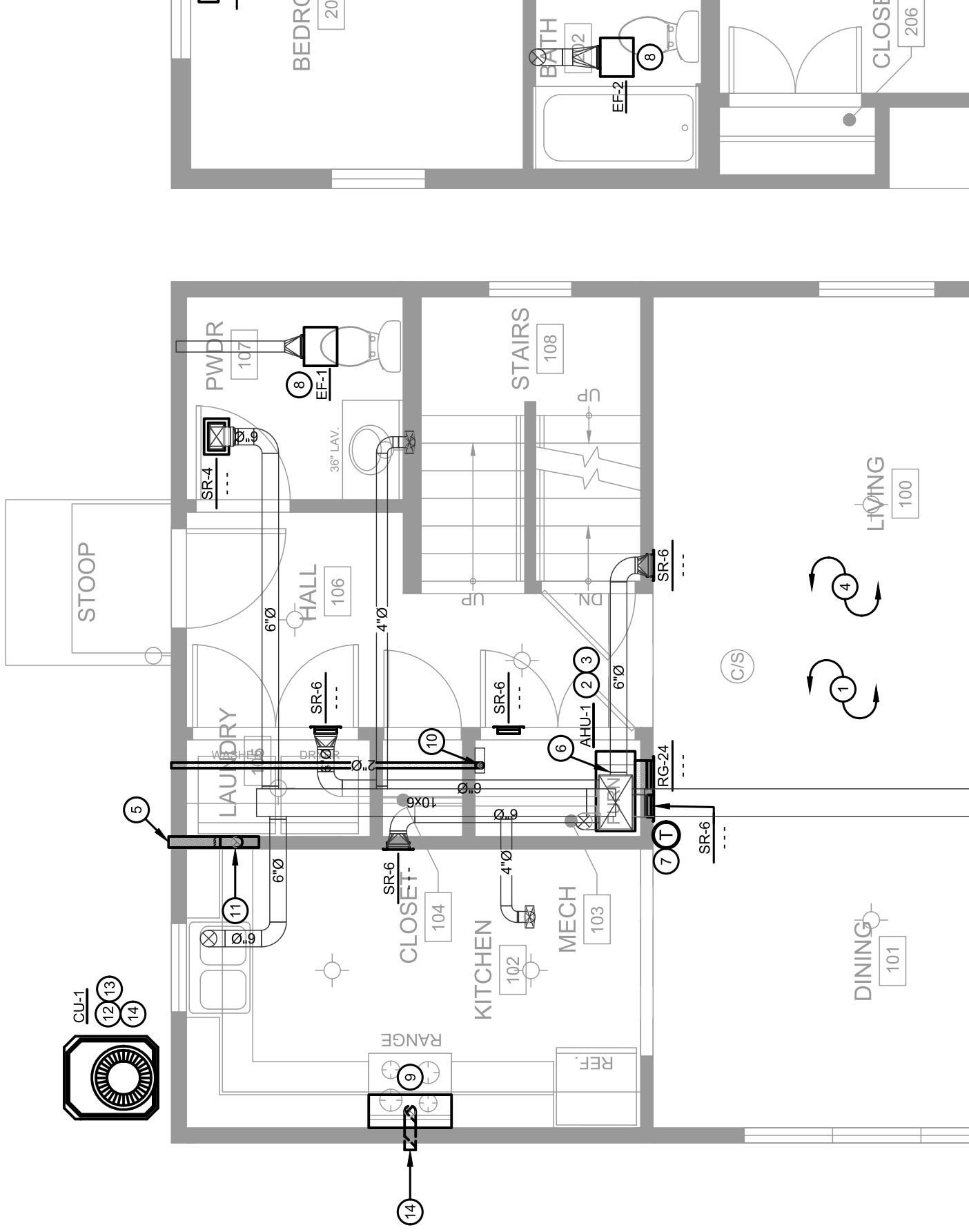


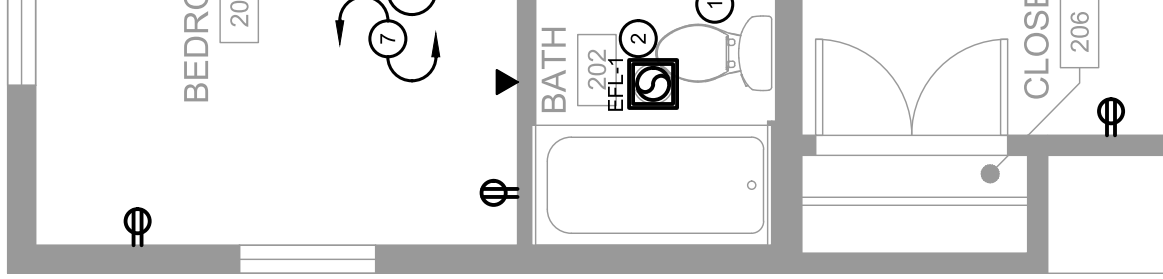
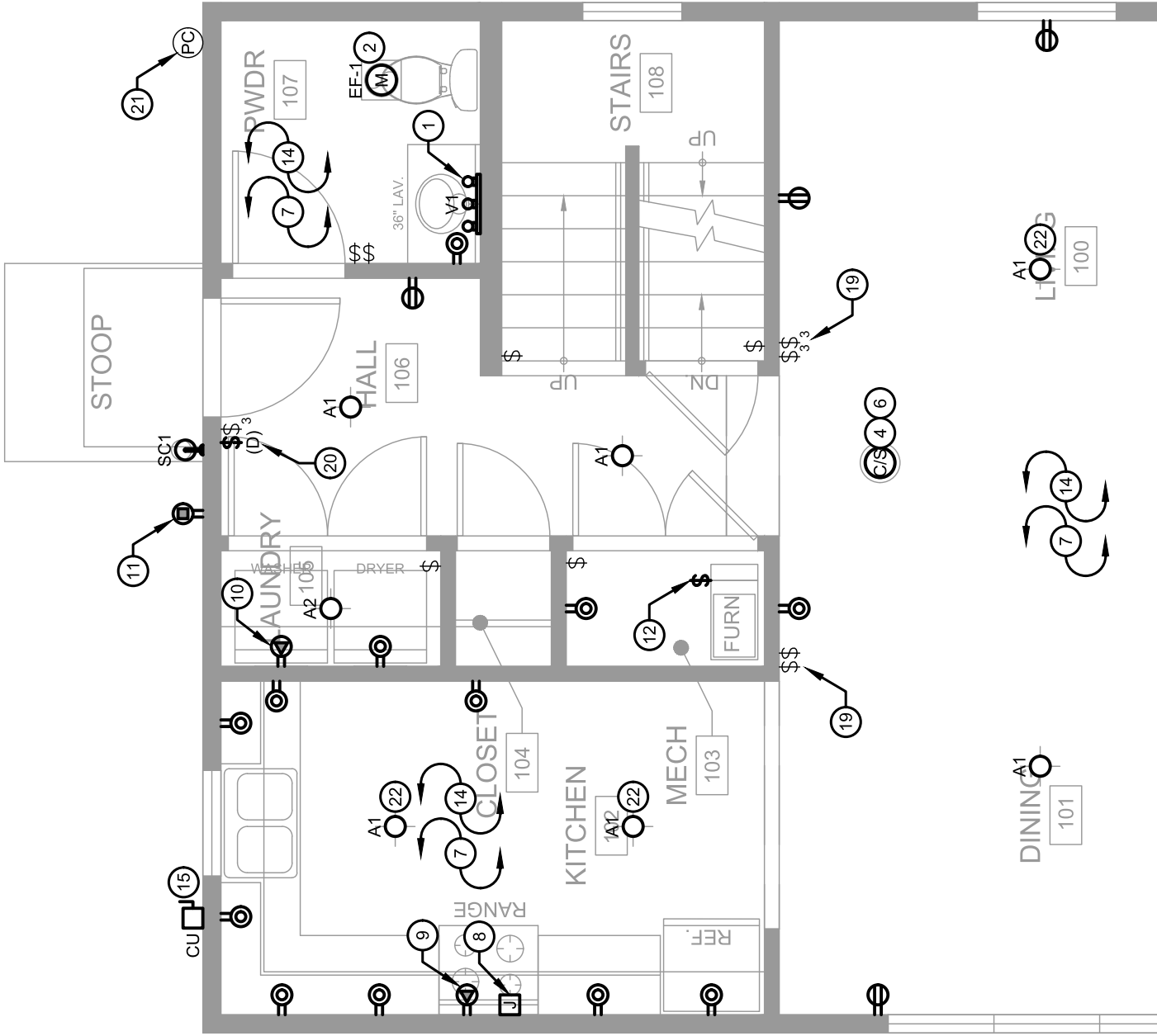


# INTERIOR ELEVATIONS AT BATH 202

SCALE: 1/2" = 1'-0"







Volts	Phase	Wire
120/240	1Ø	3
Circuit #	Breaker	Poles
1	15	1
3	20	1
5	20	1
7	15	1
9	30	2
11		
13	20	1
15	15	1